

CASE

NUMBER:

99.383

PRD-410
4-83

CASE NUMBER:

99-383

V-E-308; Box 98

INDEX FOR CASE: 1999-383

AS OF : 12/28/99

KENTUCKY CGSA, INC., DBA BELLSOUTH MOBILITY, WESTEL-MILWAUKEE, BSC

Construct

CELL SITE - 557 HUNTER'S LANE - ROWAN COUNTY, MOREHEAD

IN THE MATTER OF THE APPLICATION OF CROWN COMMUNICATIONS
 INC. AND KENTUCKY CGSA, INC. FOR ISSUANCE OF A CERTIFICATE
 OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT A WIRELESS
 COMMUNICAITONS FACILITY AT 557 HUNTER'S LANE, MOOREHEAD,
 KENTUCKY 40351

IN THE WIRELESS COMMUNICATIONS LICENSE AREA

IN THE COMMONWEALTH OF KENTUCKY

IN THE COUNTY OF ROWAN

SITE NAME: MOORES FERRY

SEQ NBR	ENTRY DATE	REMARKS
0001	09/29/1999	Application.
M0001	10/05/1999	PAUL & MABEL REYNOLDS-LETTER STATEING NO RESIDENTS WITHIN 500 FEET OF TOWER
0002	10/08/1999	Acknowledgement letter.
0003	10/11/1999	Copy of letter dated 10/5/99 by the Reynolds' sent to D. Pike and S. McNamara.
0004	10/15/1999	No def. letter
M0002	11/01/1999	CROWN COMMUNICATIONS DAVID PIKE-MOTION TO SUBMIT FOR EXPEDITED DECISION WITHOUT PUBLIC HEAR
0005	12/28/1999	Final Order approving cell site construction.



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

CERTIFICATE OF SERVICE

RE: Case No. 1999-383
KENTUCKY CGSA, INC., DBA BELLSOUTH MOBILITY, WESTEL-MILWAUKEE, BSC

I, Stephanie Bell, Secretary of the Public Service Commission, hereby certify that the enclosed attested copy of the Commission's Order in the above case was served upon the following by U.S. Mail on December 28, 1999.

See attached parties of record.

Stephanie J. Bell

Secretary of the Commission

SB/lc
Enclosure

Lloyd McCarthy
Crown Communication Inc.
11001 Bluegrass Parkway, Suite 330
Louisville, KY. 40299

Richard Guittar
1650 Lyndon Farms Court
Louisville, KY. 40223

Honorable Sam G. McNamra
Attorney at Law
McNamara & Jones
315 High Street
P. o. Box 916
Frankfort, KY. 40602

Honorable David A. Pike
Attorney at Law
Pike Legal Group
200 South Buckman Street
P. O. box 369
Shepherdsville , KY. 40165 0369

Steve Skinner
Manager of External Affairs
Kentucky CGSA, Inc., dba Bellsouth
Mobility, Westel-Milwaukee, BSCC of IN
1100 Peachtree Street
Room 809
Atlanta, GA. 30309

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CROWN COMMUNICATION INC.)
AND KENTUCKY CGSA, INC. FOR ISSUANCE OF A)
CERTIFICATE OF PUBLIC CONVENIENCE AND)
NECESSITY TO CONSTRUCT A WIRELESS)
COMMUNICATIONS FACILITY AT 557 HUNTER'S)
LANE, MOREHEAD, KY 40351 IN THE WIRELESS) CASE NO. 99-383
COMMUNICATIONS LICENSE AREA IN THE)
COMMONWEALTH OF KENTUCKY IN THE)
COUNTY OF ROWAN)
SITE NAME: MOORES FERRY)
SITE NUMBER: KY251)

O R D E R

On September 29, 1999, Crown Communication Inc. ("Crown") and Kentucky CGSA, Inc., d/b/a BellSouth Mobility (collectively, the "Applicants") filed an application seeking a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility. The proposed facility consists of a guyed antenna tower not to exceed 425 feet in height, with attached antennas, to be located at 557 Hunter's Lane, Morehead, Rowan County, Kentucky. The coordinates for the proposed facility are North Latitude 38° 10' 15.46" by West Longitude 83° 34' 31.09".

Crown has provided information regarding the structure of the tower, safety measures, and antenna design criteria for the proposed facility. Based upon the application, the design of the tower and foundation conforms to applicable nationally

recognized building standards, and the plans have been certified by a Registered Professional Engineer.

Pursuant to 807 KAR 5:063, the Applicants have notified the Rowan County Judge/Executive of the proposed construction. To date, no comments have been filed by the Judge/Executive. The Applicants have filed applications with the Federal Aviation Administration ("FAA") and the Kentucky Airport Zoning Commission ("KAZC") seeking approval for the construction and operation of the proposed facility. Both decisions are pending.

The Applicants have filed evidence of the appropriate notices provided pursuant to 807 KAR 5:063. The notices solicited any comments and informed the recipients of their right to request intervention. To date, no public comments opposing the proposed construction have been filed with the Commission.

Pursuant to KRS 278.280, the Commission is required to determine proper practices to be observed when it finds, upon complaint or on its own motion, that the facilities of any utility subject to its jurisdiction are unreasonable, unsafe, improper, or insufficient. To assist the Commission in its efforts to comply with this mandate, Crown should notify the Commission if it does not use this antenna tower to provide service in the manner set out in its application and this Order. Upon receipt of such notice, the Commission may, on its own motion, institute proceedings to consider the proper practices, including removal of the unused antenna tower, which should be observed by Crown.

The Commission, having considered the evidence of record and being otherwise sufficiently advised, finds that the Applicants have demonstrated that a facility is necessary

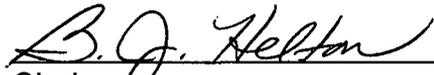
to provide adequate utility service and therefore should be granted a Certificate of Public Convenience and Necessity to construct the proposed facility.

IT IS THEREFORE ORDERED that:

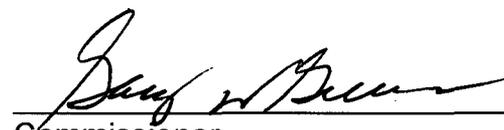
1. Crown is granted a Certificate of Public Convenience and Necessity to construct a guyed antenna tower not to exceed 425 feet in height, with attached antennas, to be located at 557 Hunter's Lane, Morehead, Rowan County, Kentucky. The coordinates for the proposed facility are North Latitude 38° 10' 15.46" by West Longitude 83° 34' 31.09".
2. The Applicants shall file a copy of the final decisions regarding their pending FAA and KAZC applications for the proposed construction within 10 days of receiving these decisions.
3. Crown shall immediately notify the Commission in writing, if, after the antenna tower is built and utility service is commenced, the tower is not used for a period of 3 months in the manner authorized by this Order.

Done at Frankfort, Kentucky, this 28th day of December, 1999.

PUBLIC SERVICE COMMISSION


Chairman


Vice Chairman


Commissioner

ATTEST:


Executive Director

**COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION**

RECEIVED
NOV - 1 1999
PUBLIC SERVICE
COMMISSION

In the Matter of:

APPLICATION OF CROWN COMMUNICATION INC.)
AND KENTUCKY CGSA, INC.)
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT) CASE NO.: 99-383
A WIRELESS COMMUNICATIONS FACILITY AT)
557 HUNTER'S LANE, MOOREHEAD, KY 40351)
IN THE WIRELESS COMMUNICATIONS LICENSE AREA)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF ROWAN)
)
)
SITE NAME: MOORES FERRY)
SITE NUMBER: KY251)

**MOTION TO SUBMIT
FOR EXPEDITED DECISION WITHOUT PUBLIC HEARING**

Come the Applicants, Crown Communication Inc. ("Crown"), and Kentucky CGSA, Inc., d/b/a BellSouth Mobility Inc. ("Provider"), Applicants herein, by counsel, and move the Kentucky Public Service Commission's ("Commission") to promptly grant a Certificate of Public Convenience and Necessity ("CPCN") in the within Application proceeding based on the following facts and circumstances:

1. The Applicants have met all filing requirements under the Kentucky Revised Statutes and the Kentucky Administrative Regulations applicable to this proceeding.
2. There are no Interveners in this proceeding after Notice has been afforded pursuant to the terms of the Kentucky Revised Statutes and the Kentucky Administrative Regulations.
3. The Wireless Communications Facility ("WCF") which is the subject of this Application for a CPCN is a vital element of the Provider's wireless communications

network, and is necessary to provide service in accordance with provisions of its license with the Federal Communications Commission.

4. The county where the WCF is located has not registered for the right to regulate cell sites with the PSC, and has not adopted planning and zoning regulations in accordance with KRS 100.

5. The Application in this administrative proceeding was originally filed with the Commission on September 29, 1999, 34 days before the submission of this Motion.

WHEREFORE, Crown Communication Inc. and Kentucky CGSA, Inc., d/b/a BellSouth Mobility Inc. ("Provider"), Applicants herein, by counsel, urge the Kentucky Public Service Commission to promptly grant a Certificate of Public Convenience and Necessity in accordance with the terms of the Application in this proceeding without public hearing.

Respectfully submitted,



David A. Pike
Pike Legal Group
200 S. Buckman Street
Post Office Box 369
Shepherdsville, KY 40165-0369
Telephone: (502) 955-4400
Telefax: (502) 543-4410
E-Mail: pikelegal@aol.com
ATTORNEY FOR CROWN COMMUNICATION INC.

and

Sam G. McNamara
McNamara & Jones
315 High Street
P.O. Box 916
Frankfort, KY 40602
Telephone: (502) 875-8808
ATTORNEY FOR WESTEL-MILWAUKEE COMPANY, INC.



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION
730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

October 15, 1999

To: All parties of record

RE: Case No. 99-383
KENTUCKY CGSA, INC., DBA BELLSOUTH MOBILITY, WESTEL-MILWAUKEE, BSC

The Commission staff has reviewed your application in the above case and finds that it meets the minimum filing requirements. Enclosed please find a stamped filed copy of the first page of your filing. This case has been docketed and will be processed as expeditiously as possible.

If you need further assistance, please contact my staff at 502/564-3940.

Sincerely,

A handwritten signature in cursive script that reads "Stephanie Bell".

Stephanie Bell
Secretary of the Commission

SB/sa
Enclosure

Lloyd McCarthy
Crown Communication Inc.
11001 Bluegrass Parkway, Suite 330
Louisville, KY. 40299

Richard Guittar
1650 Lyndon Farms Court
Louisville, KY. 40223

Honorable Sam G. McNamra
Attorney at Law
McNamara & Jones
315 High Street
P. o. Box 916
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Honorable David A. Pike
Attorney at Law
Pike Legal Group
200 South Buckman Street
P. O. box 369
Shepherdsville , KY. 40165 0369

Steve Skinner
Manager of External Affairs
Kentucky CGSA, Inc., dba Bellsouth
Mobility, Westel-Milwaukee, BSCC of IN
1100 Peachtree Street
Room 809
Atlanta, GA. 30309

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED
SEP 29 1999
PUBLIC SERVICE
COMMISSION

In the Matter of:

APPLICATION OF CROWN COMMUNICATION INC.)
AND KENTUCKY CGSA, INC.)
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT)
A WIRELESS COMMUNICATIONS FACILITY AT)
557 HUNTER'S LANE, MOOREHEAD, KY 40351)
IN THE WIRELESS COMMUNICATIONS LICENSE AREA)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF ROWAN)

CASE NO.: 99-383

FILED
SEP 29 1999
PUBLIC SERVICE
COMMISSION

SITE NAME: MOORES FERRY
SITE NUMBER: KY251

Crown Communication Inc. ("Crown"), and Kentucky CGSA, INC., d/b/a BellSouth Mobility Inc. ("Provider"), as a licensed public utility in the Commonwealth of Kentucky, hereinafter jointly referred to as "Applicants", by counsel, pursuant to (i) KRS 278.020 and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit their Application for a Certificate of Public Convenience and Necessity ("CPCN") from the Public Service Commission of Kentucky ("Commission") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Provider with wireless telecommunications services, and other wireless service provider collocations in the area described herein.

In support of this Application, the Applicants respectfully provide and state the following information:



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION
730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KENTUCKY 40602
www.psc.state.ky.us
(502) 564-3940
Fax (502) 564-1582

Ronald B. McCloud, Secretary
Public Protection and
Regulation Cabinet

Helen Helton
Executive Director
Public Service Commission

Paul E. Patton
Governor

October 11, 1999

The Honorable Sam G. McNamara
McNamara & Jones
315 High St.
P.O. Box 916
Frankfort, KY 40602

RE: Case 99-383

Dear Mr. McNamara:

I have enclosed a copy of correspondence from Paul J. and Mabel Reynolds for your information.

Sincerely,

A handwritten signature in cursive script that reads "Stephanie Bell".

Stephanie Bell
Secretary of the Commission





COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION
730 SCHENKEL LANE
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Ronald B. McCloud, Secretary
Public Protection and
Regulation Cabinet

Helen Helton
Executive Director
Public Service Commission

Paul E. Patton
Governor

October 11, 1999

The Honorable David A. Pike
Pike Legal Group
200 S. Buckman St.
P.O. Box 369
Shepherdsville, KY 40165-0369

RE: Case 99-383

Dear Mr. Pike:

I have enclosed a copy of correspondence from Paul J. and Mabel Reynolds for your information.

Sincerely,

Stephanie Bell

Stephanie Bell
Secretary of the Commission



AN EQUAL OPPORTUNITY EMPLOYER M/F/D



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

October 8, 1999

To: All parties of record

RE: Case No. 99-383
KENTUCKY CGSA, INC., DBA BELLSOUTH MOBILITY, WESTEL-MILWAUKEE, BSC
(Construct) CELL SITE - 557 HUNTER'S LANE - ROWAN COUNTY, MOREHEAD

This letter is to acknowledge receipt of initial application in the above case. The application was date-stamped received September 29, 1999 and has been assigned Case No. 99-383. In all future correspondence or filings in connection with this case, please reference the above case number.

If you need further assistance, please contact my staff at 502/564-3940.

Sincerely,

A handwritten signature in cursive script that reads "Stephanie Bell".

Stephanie Bell
Secretary of the Commission

SB/jc

Lloyd McCarthy
Crown Communication Inc.
11001 Bluegrass Parkway, Suite 330
Louisville, KY. 40299

Richard Guttar
1650 Lyndon Farms Court
Louisville, KY. 40223

Honorable Sam G. McNamra
Attorney at Law
McNamara & Jones
315 High Street
P. o. Box 916
Frankfort, KY. 40602

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Attorney at Law
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200 South Buckman Street
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Shepherdsville , KY. 40165 0369

Steve Skinner
Manager of External Affairs
Kentucky CGSA, Inc., dba Bellsouth
Mobility, Westel-Milwaukee, BSCC of IN
1100 Peachtree Street
Room 809
Atlanta, GA. 30309

Executive Director's Office
Public Service Commission of Tex.

October 4, 1999

Dear Sirs -

In reference to Case No. 99-383
This is to inform you that no other
individuals own any property
within 500' of the tower location
to be constructed by Crown Communications
on our property.

Sincerely
Paul J and Mabel Reynolds

RECEIVED
OCT 05 1999
PUBLIC SERVICE
COMMISSION

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED
SEP 29 1999
PUBLIC SERVICE
COMMISSION

In the Matter of:

APPLICATION OF CROWN COMMUNICATION INC.)
AND KENTUCKY CGSA, INC.)
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT)
A WIRELESS COMMUNICATIONS FACILITY AT)
557 HUNTER'S LANE, MOOREHEAD, KY 40351)
IN THE WIRELESS COMMUNICATIONS LICENSE AREA)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF ROWAN)

CASE NO.: 99-383

FILED
SEP 29 1999
PUBLIC SERVICE
COMMISSION

SITE NAME: MOORES FERRY
SITE NUMBER: KY251

Crown Communication Inc. ("Crown"), and Kentucky CGSA, INC.,d/b/a BellSouth Mobility Inc. ("Provider"), as a licensed public utility in the Commonwealth of Kentucky, hereinafter jointly referred to as "Applicants", by counsel, pursuant to (i) KRS 278.020 and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit their Application for a Certificate of Public Convenience and Necessity ("CPCN") from the Public Service Commission of Kentucky ("Commission") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Provider with wireless telecommunications services, and other wireless service provider collocations in the area described herein.

In support of this Application, the Applicants respectfully provide and state the following information:

1. The complete names and addresses of the Applicants are:

Crown Communication Inc., a Delaware Corporation, 375 Southpointe Boulevard, Canonsburg, PA 15317, (724) 416-2000, having a local address of Commonwealth Business Center, 11001 Bluegrass Parkway, Suite 330, Louisville, Kentucky 40299, (502) 240-0044.

KENTUCKY CGSA INC., d/b/a BellSouth Mobility Inc., a Georgia Corporation, 1100 Peachtree Street, Suite 14E06, Atlanta, GA 30309, having a local address of 1650 Lyndon Farms Ct., Louisville, KY 40223.

2. Crown constructs, owns, manages, maintains, and operates independent communications networks. Crown owns and manages safe, clean, and well-maintained facilities. Crown facilities do not generate smoke, odors, noise, noxious gases, vibrations, or increase traffic. Studies show that Crown's facilities will not pollute air, soil, or water, nor will they adversely affect radio or television reception or transmission. A certified copy of the Certificate of Authority issued by the Secretary of State of the Commonwealth of Kentucky for Crown and the Provider are attached hereto as **Exhibit A**.

3. After completion of the proposed WCF, KENTUCKY CGSA, INC., d/b/a BellSouth Mobility, Inc. will be the ultimate owner of the WCF, with Crown acting as ultimate sublessor to further lease or license space on said tower and the surrounding site so that other Providers may locate and operate their facilities including all required antennas and appurtenances. The proposed WCF will serve an area completely within the Provider's Federal Communications Commission ("FCC") licensed service area in the Commonwealth of Kentucky. The Provider is authorized to provide wireless services by the FCC and Commission. The proposed site is located in a manner such that other wireless communications service providers will desire to collocate on said tower, and

Crown will endeavor to provide all necessary facilities to make collocation attractive to them.

4. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Provider's services to an area currently not adequately served by the Provider with increased coverage or capacity and will thereby enhance the public's access to innovative and competitive wireless telecommunications services. The WCF will provide a necessary link in the Provider's telecommunications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications licensed area. The WCF is an integral link in the Provider's network design that must be in place to provide adequate coverage to the service area.

5. Crown's construction of the described WCF is desirable because it allows for the collocation of additional wireless service providers within this portion of the Kentucky wireless communications licensed area. These services may include telecommunications, wireless data transfer and Internet services, wireless cable, paging systems, 911 service, and other new products currently being developed in the wireless industry. In addition, the WCF will be available for use by governmental agencies and providers of emergency services. The WCF will provide a necessary link in Crown's wireless infrastructure network, and Crown, as part of its business structure, will diligently pursue and encourage other wireless providers to collocate on the WCF. These services will provide increased competition in the local Kentucky telecommunications market, which will, in turn, promote competitive pricing, quality, and coverage options to users of telecommunications services

in this area. Crown's vested interest in the collocation of wireless service providers promotes the same goals for the local consumers.

6. The Applicants propose to construct a WCF at 557 Hunter's Lane, Morehead, Kentucky, 40351 (38°10' 15.46" North latitude, 83° 34' 31.09" West longitude), in an area located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Paul J. Reynolds and Mabel Reynolds. The proposed WCF will consist of a 400-foot Guyed tower, with an approximately 25-foot lightning arrestor attached at the top, for a total height of 425 feet. The WCF will also include concrete foundations to accommodate the placement of the Provider's proprietary radio electronics equipment. The equipment will be housed in a prefabricated cabinet or shelter that will contain: (i) the transmitting and receiving equipment required to connect the WCF with the Provider's users in Kentucky, (ii) telephone lines that will link the WCF with the Provider's other facilities, (iii) battery back-up that will allow the Provider to operate even after a loss of outside power, and (iv) all other necessary appurtenances. The Provider's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**. Periodic inspections will be performed on the WCF in accordance with the applicable regulations or requirements of the Commission. The list of competing utilities, corporations, or persons is attached as **Exhibit D**.

7. Reduced copies of the site development plan have been included as **Exhibit**

B and **Exhibit C** of this Application. A vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Provider and future antenna mounts, has also been included as part of **Exhibit B**. Foundation design plans and a description of the standards according to which the tower was designed signed and sealed by a professional engineer registered in Kentucky is included as part of **Exhibit C**.

8. The Applicants have considered the likely effects of the installation on nearby land uses and values and have concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to collocate. The Applicants have attempted to collocate on suitable existing structures such as a telecommunications towers or other suitable structures capable of supporting the Provider's facilities. No other suitable and available collocation site was found to be located in the vicinity of the site. Information regarding the Applicants' efforts to achieve collocation in the vicinity are presented as **Exhibit E**.

9. The Applicants have conducted a preliminary aeronautical evaluation for the proposed WCF. The evaluation determined that the proposed structure height at this site meets Federal Aviation Administration ("FAA") Regulation requirements. Furthermore, FAA notice is required for the proposed construction, and lighting or marking requirements may be applicable to this facility. A copy of the FAA Application is attached as **Exhibit F**. Upon receiving authorization from the FAA, the Applicants will forward a copy of the determination as a supplement to this Application proceeding.

10. A copy of the Kentucky Airport Zoning Commission ("KAZC") Application for the proposed WCF is attached as **Exhibit G**. Upon receiving authorization from the KAZC, the Applicants will forward a copy of the determination as a supplement to this Application proceeding.

11. The WCF will be registered with the FCC pursuant to applicable federal requirements. Appropriate required FCC signage will be posted on the site upon receipt of the tower registration number.

12. A geotechnical-engineering firm has performed soil boring(s) and subsequent geotechnical-engineering studies at the WCF site under the supervision of a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration. The geotechnical-engineering firm has performed many such studies for the communications industry. A copy of the geotechnical-engineering report and evaluation signed and sealed by a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration, is attached as **Exhibit H**. The name and address of the geotechnical-engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included in **Exhibit H**.

13. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I**. The name and address of the preparer of **Exhibit I** is included in **Exhibit I**.

14. The Applicants, pursuant to a written agreement, have acquired the right to

use the WCF site and associated property rights. A copy of the abbreviated agreement recorded with the County Clerk is attached as **Exhibit J**. Also included as part of **Exhibit J** is the portion of the full agreement demonstrating that in the case of abandonment a method is provided to dismantle and remove the cellular antenna tower, including a timetable for removal.

15. Personnel directly responsible for the design and construction of the proposed WCF are well-qualified and experienced. Pirod, Inc. ("the Tower Manufacturer"), performed the tower and foundation design. The Tower Manufacturer is a nationally recognized manufacturer and designer of communications towers. The Tower Manufacturer has designed and installed communications towers throughout North America. The Tower Manufacturer has assigned John R. Erichsen, a professional engineer registered in the Commonwealth of Kentucky to design the WCF. This engineer specializes in the design and engineering of guyed, self-support and monopole structures, and has extensive experience in the design and construction of projects similar to the Applicants'. These projects include the design of towers and the required foundations of many other wireless facilities. All of the designs have been signed and sealed by John R. Erichsen. The construction of the proposed WCF will be performed by Crown Network Systems, an experienced, bonded, and insured erection company. The Tower Erection Manager, Harold Harrington, will manage the tower erection. Harold Harrington is a tower installation manager for Crown and has been erecting towers for the telecommunications industry for over 8 years. All tower designs will meet or exceed applicable laws and regulations.

16. Based on a review of Federal Emergency Management Agency Flood Insurance Rate Maps, the registered land surveyor has noted in **Exhibit B** that the proposed WCF is not located within any flood hazard area.

17. The possibility of high winds has been considered in the design of this tower. The tower has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. The tower has been designed to withstand a wind loading of 70 m.p.h., using the Uniform Building Code of 1991 ("UBC-91") and further modified by the 1993 Administrative Code. This tower has been designed in accordance with the Electronic Industries Association ("EIA") 222-F Standards, which have been accepted and approved by ANSI and is a nationally recognized tower design standard. Similarly, the proposed WCF design has been developed with consideration of potential ground shaking based on a negligible seismic zone of 1. Seismic loading is regarded as secondary to the wind loading.

18. The site development plan signed and sealed by a professional engineer registered in Kentucky was prepared by Tahsin Gurpinar, and was designed from a survey performed by Michael A. Lewis, a land surveyor registered in Kentucky. This site development plan is drawn to a scale of no less than one (1) inch equals 200 feet, and identifies every owner of real estate within 500 feet of the proposed tower (according to the Property Valuation Administrator) and is incorporated in the survey as part of **Exhibit B**.

Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is incorporated

in the survey as part of **Exhibit B**.

19. Crown, on behalf of itself and the Provider, has notified every person who owns property within 500 feet of the proposed tower by certified mail, return receipt requested, of the proposed construction, along with the possibility of a temporary site being built while awaiting Commission approval. Each property owner has been given the docket number under which the proposed Application will be processed and has been informed of their right to request intervention. A list of the nearby property owners who received the notices, together with copies of the certified letters, are attached as **Exhibit K** and **Exhibit L**, respectively.

20. Crown, on behalf of itself and the Provider, has notified the Judge Executive of the county where the WCF is located by certified mail, return receipt requested, of the proposed construction. Crown included in said notice the Public Service Commission ("PSC") docket number under which the application will be processed and informed said entity of its right to request intervention. A copy of this notice is attached as **Exhibit M**.

The county where the WCF is located has not registered for the right to regulate cell sites with the PSC, and has not adopted planning and zoning regulations in accordance with KRS Chapter 100.

21. Two appropriate notice signs measuring at least two (2) feet in height and four (4) feet in width with all required language in letters of required height have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after filing of the Application. Copies of the postings are attached as **Exhibit N**. The location of the proposed facility has been

published in a newspaper of general circulation in the county where the WCF is located.

22. There are no residences within a 500-foot radius of the centerline of the proposed tower location. The land surrounding the WCF site is presently vacant with the balance of the remaining land consisting of raw acreage.

23. The process that was used in selecting the site for the proposed WCF by the Applicants' radio frequency engineers was consistent with the process used for selecting generally all other existing and proposed WCF facilities within the proposed network design area. Before beginning the acquisition process, the Applicants carefully evaluated the location of the required WCF for possible collocation opportunities on existing structures.

Radio frequency engineers used computer programs to evaluate the most effective coverage design for facilitating collocation potential on the proposed tower. Crown and the Provider's radio frequency engineers have combined their efforts in order to develop a highly efficient network that is designed to serve the Federal Communications Commission licensed territory without extending beyond the Provider's approved boundary. The engineers selected the optimum vicinity in terms of elevation and location to provide the best quality service to customers in the service area. A proposed coverage area was considered by the Applicants when searching for sites that would provide both (i) the coverage deemed necessary by the Provider, and (ii) the coverage deemed necessary by Crown to permit the integration of the proposed WCF into Crown's overall network design.

No suitable towers or existing structures were found in the immediate area which would meet the technical requirements for this element of the telecommunications network. A map of the area in which the tower is proposed to be located which is drawn to scale and

clearly depicts the necessary search area within which the site should, pursuant to radio frequency requirements, be located is attached as **Exhibit O**.

24. A grid map showing the location of all existing cellular antenna towers that includes the general position of proposed construction sites for new cellular antenna towers within the planning commission's jurisdiction and one-half mile outside the boundary of the planning unit's jurisdiction if that area contains either existing or proposed construction sites for cellular antenna towers is attached as **Exhibit P**.

25. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed to:

Lloyd McCarthy
Crown Communication Inc.
11001 Bluegrass Parkway, Suite 330
Louisville, Kentucky 40299
Telephone: (502) 240-0044

and

Richard Guittar
1650 Lyndon Farms Court
Louisville, Kentucky 40223
(502) 329-4700

and

Sam G. McNamara
McNamara & Jones
315 High Street
P.O. Box 916
Frankfort, Kentucky 40602
(502) 875-8808

and

David A. Pike
Pike Legal Group
200 S. Buckman Street
P. O. Box 369
Shepherdsville, Kentucky 40165-0369
Telephone: (502) 955-4400

WHEREFORE, the Applicants respectfully request that the Commission accept the foregoing Application for filing, and having met the requirements of KRS 278.020 and all applicable rules and regulations of the Commission, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein for the respective networks in the Commonwealth of Kentucky.

Respectfully submitted,



David A. Pike
Pike Legal Group
200 S. Buckman Street
P. O. Box 369
Shepherdsville, Kentucky 40165-0369
(502) 955-4400
COUNSEL FOR CROWN COMMUNICATION, INC.

and



Sam G. McNamara
McNamara & Jones
315 High Street
P.O. Box 916
Frankfort, Kentucky 40602
(502) 875-8808
COUNSEL FOR KENTUCKY CGSA, INC.

LIST OF EXHIBITS

- A - Copy of Articles of Incorporation & Certificate of Authority
- B - Site Development Plan:
 - Vicinity Map
 - Property Owner Listing
 - 500' Vicinity Map
 - Legal Descriptions
 - Flood Plain Certification
 - Site Plan
 - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing utilities, corporations, or persons list
- E - Collocation report
- F - Application to FAA
- G - Application to Kentucky Airport Zoning Commission
- H - Geotechnical Report
- I - Directions to WCF Site
- J - Copy of Real Estate Agreement
- K - Notification Listing
- L - Copy of Property Owner Notification
- M - Copy of Judge Executive Notice
- N - Copy of Posting Notices
- O - Copy of Radio Frequency Design Search Area
- P - Tower Map for Subject County

EXHIBIT A
COPY OF ARTICLES OF INCORPORATION, CERTIFICATE
OF AUTHORITY & FCC AUTHORIZATION



United States of America
Federal Communications Commission
RADIO STATION AUTHORIZATION
Cellular Radiotelephone Service

KENTUCKY CGSA, INC.
1100 PEACHTREE STREET, N.E., SUITE 14E06
ATLANTA, GA 303094599

Call Sign: KNKN956

Market 0450 Channel Block: B-1 SID: 0206, 1288
Market Name: KENTUCKY 8 - MASON

The Licensee hereof is authorized, for the period indicated, to operate a radio transmitting station in accordance with the terms and conditions hereinafter described. This authorization is subject to the provisions of the Communications Act of 1934, as amended, subsequent Acts of Congress, international treaties and agreements to which the United States is a signatory, and all pertinent rules and regulations of the Federal Communications Commission, contained in Title 47 of the Code of Federal Regulations.

Initial Grant Date..... March 13, 1992
Expiration Date..... October 01, 2001

WAIVERS / CONDITIONS:

Pursuant to Section 309(h) of the Communications Act 1934, as amended, (47 U.S.C. § 309(h)), this authorization is subject to the following conditions: (1) This authorization does not vest in the licensee any right to operate a station nor any right in the use of the electromagnetic spectrum designated herein beyond the term thereof nor in any other manner than authorized herein. (2) Neither this license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended (47 U.S.C. § 151, *et seq.*) (3) This authorization is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended (47 U.S.C. § 606).

This authorization does not convey to the licensee the right to receive protection from the capture of subscriber traffic, co-channel interference or first-adjacent-channel interference in any area outside of the authorized cellular geographic service area (CGSA) of the system. Moreover, any facility authorized herein with a service area boundary (SAB) extending into the CGSA of any other operating cellular system on the same channel block, regardless of when such other cellular system was authorized, is subject to the following condition: In the event that the licensee of the other cellular system requests that the SAB of the facilities authorized herein be removed from its CGSA, the licensee herein must reduce transmitting power or antenna height (or both) as necessary to remove the SAB from the CGSA, unless written consent from the licensee of the other cellular system, allowing the SAB extension to remain, is obtained.

Issued by PL on Wednesday February 7
FCC Form 463A

For Additional Information Please Contact:
KY Engineering
1650 Lyndon Farms Court
(502) 329-4700



OFFICE OF THE SECRETARY OF STATE

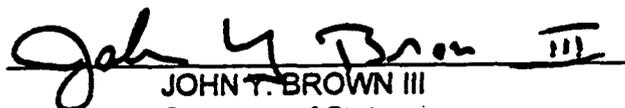
FOREIGN CORPORATION
CERTIFICATE OF AUTHORIZATION

I, JOHN Y. BROWN III, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,
CROWN COMMUNICATION INC.

is a corporation organized and existing under the laws of the state or country of DELAWARE; that was first authorized to transact business in the Commonwealth of Kentucky on AUGUST 12, 1997.

I further certify that all fees and penalties owed to the Secretary of State have been paid to date; that an Application for Certificate of Withdrawal has not been filed; and that the most recent annual report required by KRS Chapter 271B.16-220 or 273.3671 has been delivered to the Secretary of State on behalf of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal, at Frankfort, Kentucky, this 4TH day of DECEMBER, 19 97.


JOHN Y. BROWN III
Secretary of State
Commonwealth of Kentucky



JOHN Y. BROWN III
SECRETARY OF STATE

CERTIFICATE

I, JOHN Y. BROWN III, Secretary of State for the Commonwealth of Kentucky, do certify that the foregoing writing has been carefully compared by me with the original record thereof, now in my official custody as Secretary of State and remaining on file in my office, and found to be a true and correct copy of **CERTIFICATE OF AUTHORITY OF**
CROWN COMMUNICATION INC. FILED AUGUST 12, 1997.

IN WITNESS WHEREOF, I have hereunto
set my hand and affixed my official seal.

Done at Frankfort this 4TH day of

DECEMBER, 19 97

John Y Brown III
Secretary of State, Commonwealth of Kentucky



JOHN Y. BROWN III
SECRETARY OF STATE

CERTIFICATE

I, JOHN Y. BROWN III, Secretary of State for the Commonwealth of Kentucky, do certify that the foregoing writing has been carefully compared by me with the original record thereof, now in my official custody as Secretary of State and remaining on file in my office, and found to be a true and correct copy of CERTIFICATE OF AUTHORITY OF

LOUISVILLE CGSA, INC. FILED APRIL 26, 1984;

AMENDED CERTIFICATE OF AUTHORITY OF LOUISVILLE CGSA, INC.
CHANGING NAME TO KENTUCKY CGSA, INC. FILED AUGUST 26, 1986.

IN WITNESS WHEREOF, I have hereunto
set my hand and affixed my official seal.

Done at Frankfort this 8TH day of

SEPTEMBER, 19 99

John Y. Brown III
Secretary of State, Commonwealth of Kentucky

EXHIBIT B

SITE DEVELOPMENT PLAN:

VICINITY MAP

PROPERTY OWNER LISTING

500' VICINITY MAP

LEGAL DESCRIPTIONS

FLOOD PLAIN CERTIFICATION

SITE PLAN

VERTICAL TOWER PROFILE



11001 BLUEGRASS PARKWAY
 SUITE # 330
 LOUISVILLE, KY 40299
 (502) 240-0044
 (502) 240-0045 FAX

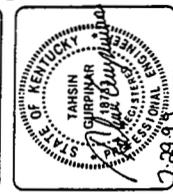
MOORES FERRY KY251A

557 HUNTER'S LANE
 MOREHEAD, KY. 40351

400' GUYED TOWER
 TELECOMMUNICATION TOWER
 WITH MULTIPLE CARRIERS



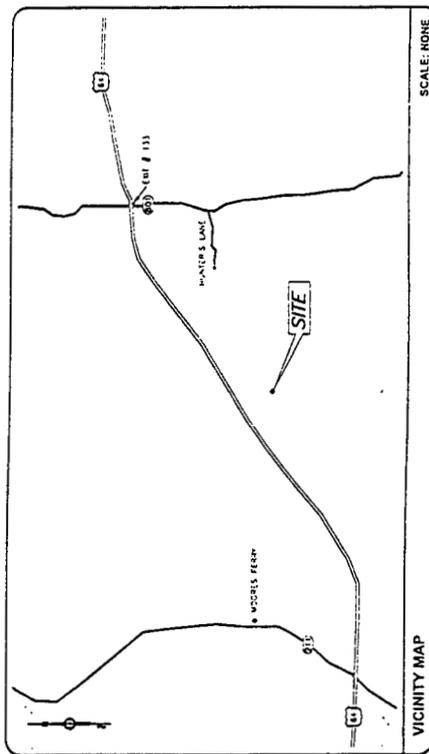
1101 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 (502) 240-0044
 (502) 240-0045 FAX



SITE NUMBER:	MO251A
SITE NAME:	MOORES FERRY
SITE ADDRESS:	557 HUNTER'S LANE MOREHEAD, KY. 40351
AREA:	LEASE AREA = 10,000 SQ. FT.
PROPERTY OWNER:	PAUL J. & MAEEL REYNOLDS 557 HUNTER'S LANE MOREHEAD, KY. 40351
TAX MAP NUMBER:	MAP 13
PARCEL NUMBER:	3
SOURCE OF TITLE:	POWER Co. Vol. 92, Pg. 31
DRAWN BY:	GT
CHECKED BY:	TA/NW

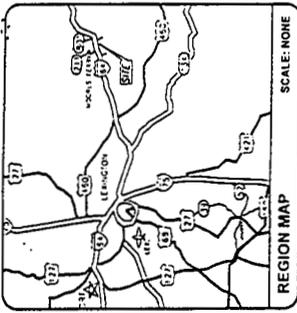
No	REVISED/ISSUE	DATE
1	ZONING REVIEW	7/19/99
2	ZONING FINAL	7/19/99

TITLE SHEET SITE INFO
18799
T-1



DIRECTION TO SITE:

FROM THE LOUISVILLE AIRPORT TAKE I-64 EAST THROUGH LEXINGTON TO EXIT #133 (HWY. 801). TURN RIGHT OFF EXIT APPROX. 1/2 MI. AND TURN RIGHT ONTO HUNTER'S LANE. THE PROPOSED SITE IS AT 557 HUNTER'S LANE. THE ACCESS ROAD TO THE SITE IS LOCATED JUST BEHIND THEIR HOUSE. GO APPROX. 1/2 MI. DOWN THE ACCESS ROAD AND THE PROPOSED SITE IS LOCATED OFF TO THE RIGHT INTO THE WOODS ABOUT ANOTHER 1/2 MI.



ARCHITECTURAL DESIGN ENGINEERING

GEM ENGINEERING COMPANY

10970 STANCLIFF
 HOUSTON, TX 77099
 phone: (281) 561-9725
 fax: (281) 561-9399

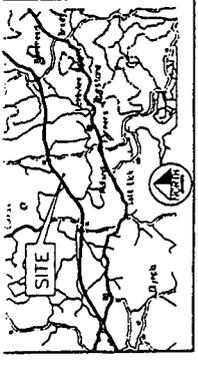
SURVEYING

3350 REGAL DRIVE
 ALCOA, TENNESSEE 37011
 (423) 970-0904
 FAX (423) 970-0905

SHEET NUMBER	DESCRIPTION
T-1	TITLE SHEET, SITE INFO
C-1	500' RADIUS SITE SURVEY
C-2	SITE SURVEY PLAN
C-4	SITE SURVEY PLAN
ARCHITECTURAL	
A-1	SITE LAYOUT PLAN
A-2	SOUTH & EAST ELEVATION
A-3	NORTH & WEST ELEVATION

R. F.	IMPLEMENTATION
LEASE AGENT	<i>Paul Reynolds</i>
ZONING AGENT	
LAND OWNER	
SIGNATURE BOX	

SITE NAME MOORES FERRY
SITE NUMBER KY251A
SITE ADDRESS 557 HUNTER'S LANE MOREHEAD, KY. 40351
SITE OWNER PAUL J. & MAEEL REYNOLDS 557 HUNTER'S LANE MOREHEAD, KY. 40351 Phone: H-(606) 784-8792
APPLICANT CROWN COMMUNICATION INC. CROWN COMMUNICATIONS PRMT. Site. 330 SUITE # 330 LOUISVILLE, KY. 40299 (502) 240-0044 - Phone (502) 240-0045 - Fax
ZONING N/A
AREA OF PARCEL BOWEN Co., KENTUCKY O.D. 92, Pg. 31
PARCEL NUMBER 3
SITE SUMMARY

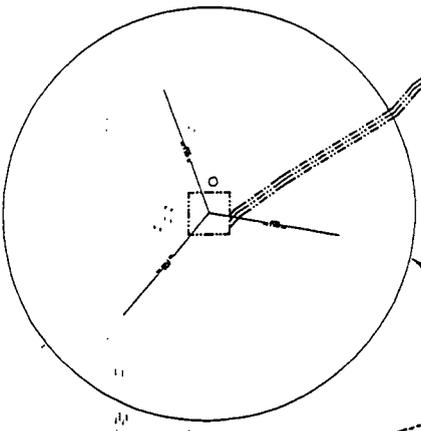


LOCATION MAP

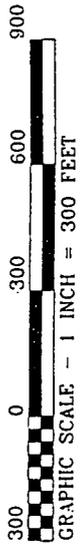
AREA: 10,000 Sq. Ft. or 0.230 Acres.

- Notes:
- 1) Tax Map 13 Parcel No. 3
 - 2) Property Owner: Paul J. & Mabel Reynolds
 - 3) Bearings Shown Based On Kentucky State Plane Zone.
 - 4) No Title Report Was Furnished To This Surveyor At The Time Of This Survey. Therefore This Survey Is Subject To Any Findings That May Accurately Reflect The Status Of The Property And Is A True Representation Of The Surveyed Land As It Exists Under My Observation.
 - 5) The Field Data Upon Which This Survey Is Based Has A Precision Of One Foot In 21,000 Feet And An Angular Error Of 0.3" Per Angle Point. And Was Adjusted Using Least Squares. The Data On This Survey Has Been Calculated For Closure And Is Found To Exceed One Foot In $\pm 100,000$ Feet.
 - 6) The Tract Shown Hereon Is Part Of The Tract Of Land Conveyed To Paul J. Reynolds And Recorded In W.D. 92, Page 31.
 - 7) Date of Field Survey: 7/02/99
 - 8) Exterior Property Line Distances And Bearings Are Taken From Deed Information And Are Not Field Verified.
 - 9) A 500 Foot Radius From The Centerline Of Tower Touches Or Encompasses No Adjoining Properties.

NOTE—
SITE DOES NOT ENCOMPASS ANY
ADJOINING PROPERTIES WITHIN
A 500 FOOT RADIUS



500' RADIUS



SYMBOL	DESCRIPTION
---	Existing Property Line
- - -	Proposed Lease Line
---	Existing Easement Line
---	Existing Contour
---	Existing Edge of Pavement
---	Existing Overhead Utility Line
---	Catch Basin
---	Corrugated Metal Pipe
---	CB
---	CMP
---	Top of Structure
---	GI
---	HW
---	Head Wall
---	Iron Rod Old
---	Iron Rod New
---	IRN
---	Junction Box
---	JP
---	CP
---	CP/P
---	Power & Telephone Pole
---	Penetration Concrete Pipe
---	Southern Bell Box
---	SBB
---	Sanitary Sewer Man Hole
---	SSMH
---	Telephone Pole
---	QTP



I hereby certify that the survey described by this plat was made by me or under my direct supervision and that I am a duly licensed surveyor in the State of Kentucky. The date of the survey was 7/2/99 and the date of this plat was 7/2/99. My commission expires on 7/2/02. I am a member of the Kentucky Surveyors Association and the American Surveying and Mapping Association.

Michael A. Lane
Surveyor
9/5/99

3814 412
LOUISVILLE KY 40219
(502) 261-8845

**GEN. ENGINEERING
COMPANY**

1010 STANLEY
MOUNTAIN, TN 37099
Phone: (615) 481-3125
Fax: (615) 481-3125



RELEASE
DATE
BY
REVISIONS

NO. DATE
1 8/12/91 100% 200' 200' 200'
2 8/12/91 100% 200' 200' 200'
3 8/12/91 100% 200' 200' 200'

THIS SURVEY IS APPROVED AS THE PROPERTY OF THE OWNER. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE SURVEY RECORDS AND TO INSURE THE SURVEYING CONTRACT AS IT IS REQUIRED UNDER THE TERMS OF THE CONTRACT.

OWNER: E.
CREATED BY:
SITE NAME:
MOORE'S FERRY

SITE NUMBER: 10000
ECHO # KY251A
Site # KY251A

SITE ADDRESS:
537 HUNTERS LANE
MOREHEAD, KY, 40351

SHEET INFO:
LEASE EXHIBIT
SITE SURVEY

SCALE NUMBER:
C-1

1000 FALGOUTS PARKWAY
LOUISVILLE, KY 40218
(502) 581-1111
FAX (502) 581-1112



**GEM ENGINEERING
COMPANY**
1000 FALGOUTS PARKWAY
LOUISVILLE, KY 40218
(502) 581-1111
FAX (502) 581-1112

LAND
3350 REGAL DRIVE
ALCOA, TENNESSEE 37701
(423) 370-0904
FAX (423) 370-0908

NO.	DATE	REVISION
1	7/02/99	ISSUED FOR PERMITS
2	7/02/99	REVISED PER COMMENTS
3	7/02/99	REVISED PER COMMENTS
4	7/02/99	REVISED PER COMMENTS
5	7/02/99	REVISED PER COMMENTS
6	7/02/99	REVISED PER COMMENTS
7	7/02/99	REVISED PER COMMENTS
8	7/02/99	REVISED PER COMMENTS
9	7/02/99	REVISED PER COMMENTS
10	7/02/99	REVISED PER COMMENTS
11	7/02/99	REVISED PER COMMENTS
12	7/02/99	REVISED PER COMMENTS
13	7/02/99	REVISED PER COMMENTS
14	7/02/99	REVISED PER COMMENTS
15	7/02/99	REVISED PER COMMENTS
16	7/02/99	REVISED PER COMMENTS
17	7/02/99	REVISED PER COMMENTS
18	7/02/99	REVISED PER COMMENTS
19	7/02/99	REVISED PER COMMENTS
20	7/02/99	REVISED PER COMMENTS

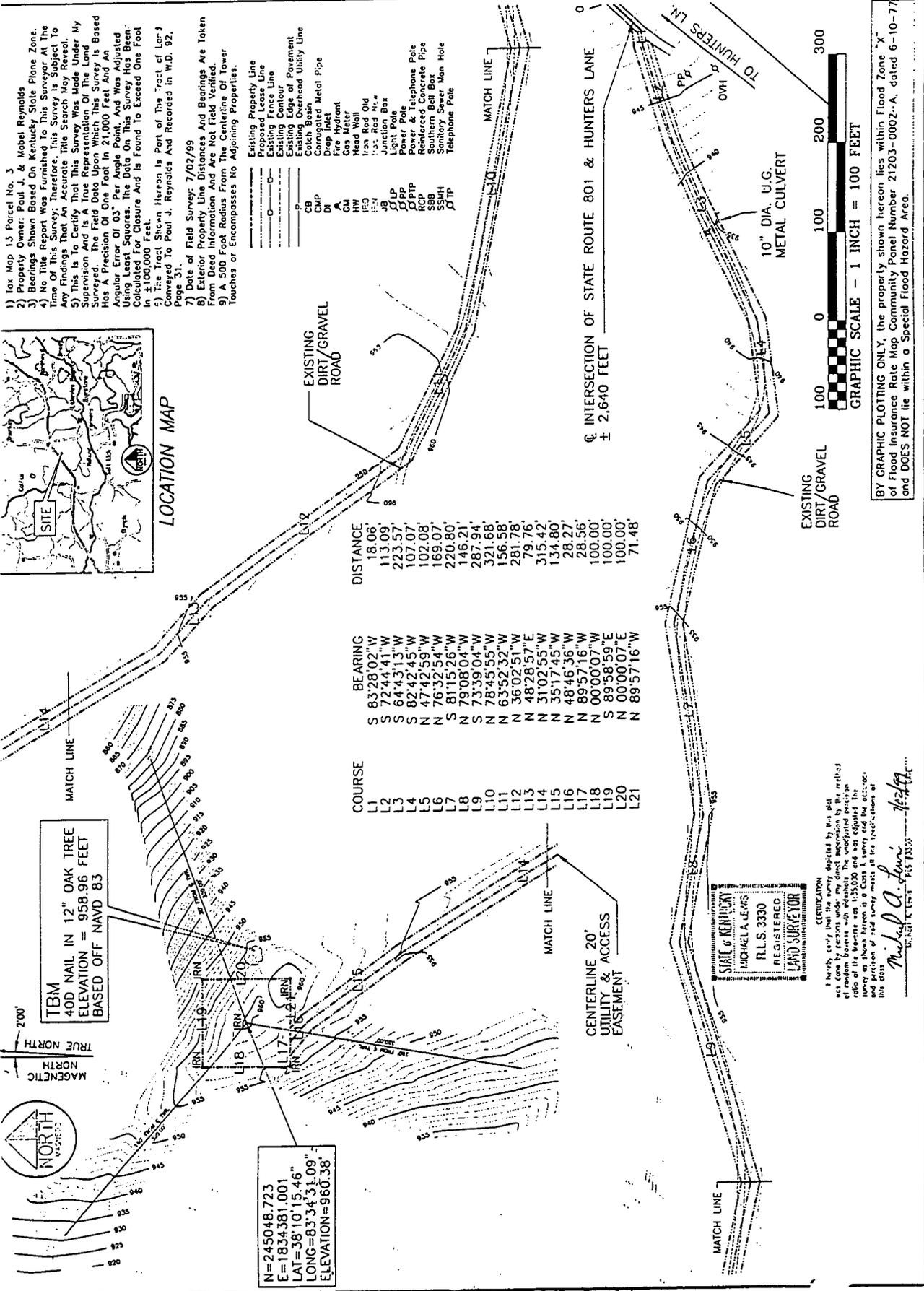
THIS SURVEY IS CONSIDERED AS BEING THE PROPERTY OF THE OWNER. IT IS PROVIDED AS IS AND THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE USER OF THIS SURVEY SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE INFORMATION CONTAINED HEREIN.

DRAWN BY: [Name]
CHECKED BY: [Name]

MOORE'S FERRY

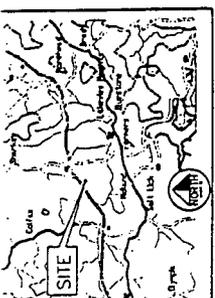
ECKO B RT281A
Eck B RT281A
807 HUNTERS LAKE
MCKENZIE, KY 40381

DATE: [Date]
SCALE: [Scale]
LEASE EXHIBIT
SITE SURVEY
SHEET NO. 1
C-2

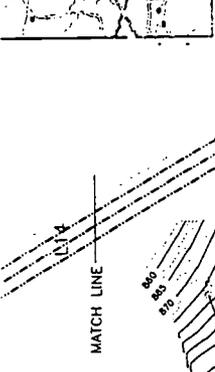


- 1) For Map 13 Parcel No. 3
- 2) Property Owner: Paul J. & Mabel Reynolds
- 3) Property Shown Based On Kentucky State Plane Zone.
- 4) Bearings Shown Based On This Survey. The Time of This Survey: The date of this survey is [Date].
- 5) This is To Certify That This Survey Was Made Under My Supervision And Is A True Representation Of The Land Surveyed. The Field Date Upon Which This Survey Has Been Made Is [Date].
- 6) This Survey Has A Precision Of One Foot In 21,000 Feet And An Angular Error Of 03" Per Angle Point. And Was Adjusted Using The Method of Least Squares. The Data On This Survey Has Been Calculated For Closure And Is Found To Exceed One Foot In 100,000 Feet.
- 7) Date of Field Survey: 7/02/99
- 8) Exterior Property Line Distances And Bearings Are Taken From Dead Information And Are Not Field Verified.
- 9) A 500 Foot Radius From The Centerline Of Tower Touches or Encompasses No Adjoining Properties.

- Existing Property Line
- Existing Fence Line
- Existing Contour
- Existing Edge of Pavement
- Existing Overhead Utility Line
- Catch Basin
- Drop Inlet
- Fire Hydrant
- Head Wall
- Manhole
- Power Pole
- Sanitary Sewer Man Hole
- Telephone Pole



LOCATION MAP



TBM 400 NAIL IN 12" OAK TREE
ELEVATION = 958.96 FEET
BASED OFF NAVD 83

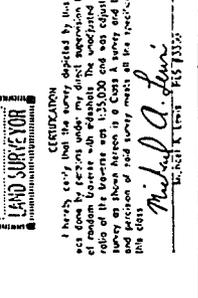
N=245048.723
E=1834381.001
LAT=38°10'15.46"
LONG=83°34'31.09"
ELEVATION=960.38'

EXISTING DIRT/GRAVEL ROAD

EXISTING DIRT/GRAVEL ROAD

10" DIA. U.C. METAL CULVERT

INTERSECTION OF STATE ROUTE 801 & HUNTERS LANE
± 2,640 FEET



TRUE NORTH
MAGNETIC NORTH
NORTH

CENTERLINE 20' UTILITY & ACCESS EASEMENT

MATCH LINE

MATCH LINE

MATCH LINE

MATCH LINE

TO HUNTERS LN.

BY GRAPHIC PLOTTING ONLY, the property shown hereon lies within Flood Zone "X" of Flood Insurance Rate Map Community Panel Number 21203-0002-A, dated 6-10-77 and DOES NOT lie within a Special Flood Hazard Area.

STATE OF KENTUCKY
MICHAEL A. LEWIS
REGISTERED
LAND SURVEYOR

CERTIFICATION
I hereby certify that the survey depicted by this plat was done by persons under my direct supervision by the method and procedure herein stated, and that the accuracy of the survey is shown hereon is a Class A survey and the accuracy and precision of said survey meets all the requirements of the laws of the State of Kentucky.
Michael A. Lewis
7/2/99



CROWN COMMUNICATION INC.
 1181 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40218
 (605) 266-8141
 (605) 266-8145

GEN ENGINEERING
AND COMPANY
 1078 SHAW ST.
 HOOVER, TN 37089
 (615) 381-1919
 (615) 381-1922

LANDAIR
 3150 REGAL DRIVE
 ALCOA, TN 37701
 (615) 439-1111
 FAX (615) 970-0908

SITE NUMBER: KY201A
SITE NAME: WOODS FERRY
SITE ADDRESS: 557 HUNTER'S LAKE
 MOREHEAD, KY. 40351
AREA: LEASE AREA = 10,000 SQ. FT.
PROPERTY OWNER: PAUL J. & MARCEL REYNOLDS
 557 HUNTER'S LAKE
 MOREHEAD, KY. 40351

TAX MAP NUMBER: MAP 13
PARCEL NUMBER: 3
SOURCE OF TITLE: ADREN Co. Vol. 92, Pg. 31
DRAWN BY: C/F
CHECKED BY: T/M/W

No.	REV/SO/ISSUE	DATE
1	ZONING REVIEW	7/19/99
2	ZONING FINAL	7/29/99

FILE
SITE SURVEY
PLAN

SHEET
(C-4)

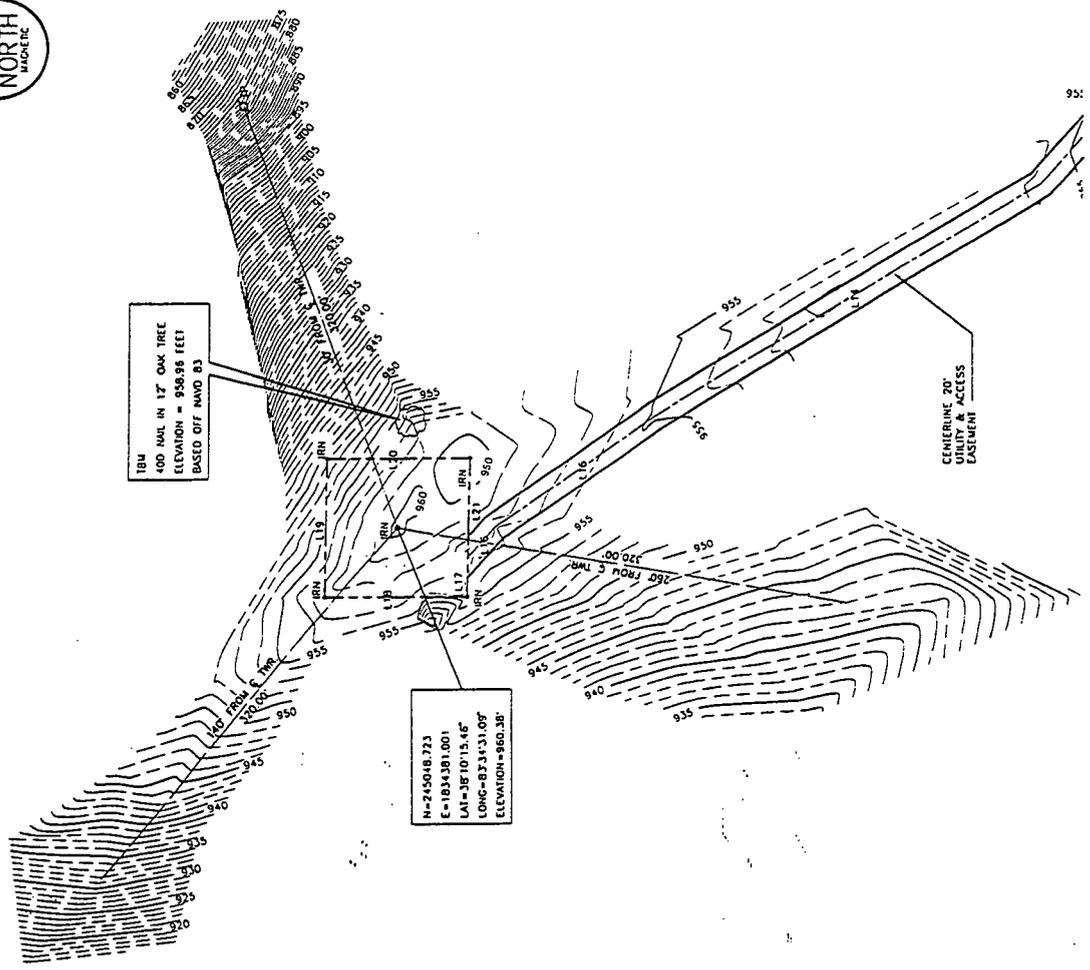
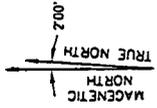
PLAN: 10,000 SQ. FT. @ 0.720 ACRE.

- NOTES:**
- Map 13 Parcel No. 3
 - Property Owner: Paul J. & Marcel Reynolds
 - Boundaries Shown Based On Kentucky State Plane Zone.
 - No Title Report Was Furnished To This Surveyor At The Time Of This Survey; Therefore, This Survey Is Subject To Any Findings In Any Title Report.
 - This Is To Clarify That This Survey Was Made Under My Supervision And Is A True Representation Of The Land Surveyed The Field Data Upon Which This Survey Is Based Has A Precision Of One Foot In 31,000 Feet And An Angular Error Of 0.5" Per Foot. Any Discrepancies Using Local Squares, The Data On This Survey May Be Adjusted For Closure And Is Found To Exceed One Foot In 100,000 Feet.
 - The Tract Shown Hereon Is Part Of The Tract Of Land Conveyed To Paul J. Reynolds And Recorded In W.D. 92, Page 31.
 - Date of Field Survey: 7/02/99
 - Exterior Property Line Distances And Bearings Are Taken From Deed Information And Are Not Field Verified.

- LEGEND:**
- Existing Property Line
 - Proposed Lease Line
 - Existing Easement
 - Existing Contour Line
 - Existing Edge of Pavement
 - Existing Overhead Utility Line
 - Clamp
 - Drop Inlet
 - Fire Hydrant
 - Gas Meter
 - Manhole
 - Iron Rod Old
 - Iron Rod New
 - Junction Box
 - Power Pole
 - Power & Telephone Pole
 - Sanitary Concrete Pipe
 - Sanitary Sewer
 - Man Hole
 - Telephone Pole

COURSE	BEARING	DISTANCE
L1	S 83°28'07"W	18.06'
L2	S 72°41'41"W	113.09'
L3	S 84°31'13"W	223.57'
L4	S 87°42'45"W	107.07'
L5	N 47°42'59"W	102.08'
L6	N 76°37'54"W	169.07'
L7	S 81°15'28"W	220.80'
L8	N 79°08'04"W	146.21'
L9	S 73°39'04"W	287.84'
L10	N 28°45'55"W	371.68'
L11	N 63°37'37"W	156.58'
L12	N 36°07'51"W	281.78'
L13	N 48°28'57"E	79.76'
L14	N 31°02'55"W	315.47'
L15	N 35°17'45"W	134.80'
L16	N 48°46'36"W	28.27'
L17	N 89°57'16"W	28.56'
L18	N 00°00'07"W	100.00'
L19	S 89°58'59"E	100.00'
L20	N 00°00'07"E	100.00'
L21	N 89°57'16"W	71.48'

CERTIFICATION:
 I hereby certify that the survey depicted by this plot was done by persons under my direct supervision by the method herein stated and that the accuracy and precision ratio of the traverse was 1:31,000 and was within the requirements of the Kentucky Surveying Law. The accuracy and precision of this survey meets all the specifications of this class.



TBU
 400 HAIL IN 17" OAK TREE
 ELEVATION = 958.98 FEET
 BASED OFF HAVD 83

N=245048.723
 E=1834381.001
 LAT=38°10'15.46"
 LONG=-82°34'31.00"
 ELEVATION=960.38'

GENERATE 20' WIDE ACCESS EASTWEST

DATE: 7/13/99
 WORKSHEET: PLS 11310

SCALE: 1"=40.0'

SITE SURVEY PLAN



GEM ENGINEERING COMPANY
1075 SHILOH
MOUNTAIN VIEW, KY 40151
TEL: (502) 341-2118
FAX: (502) 341-2119



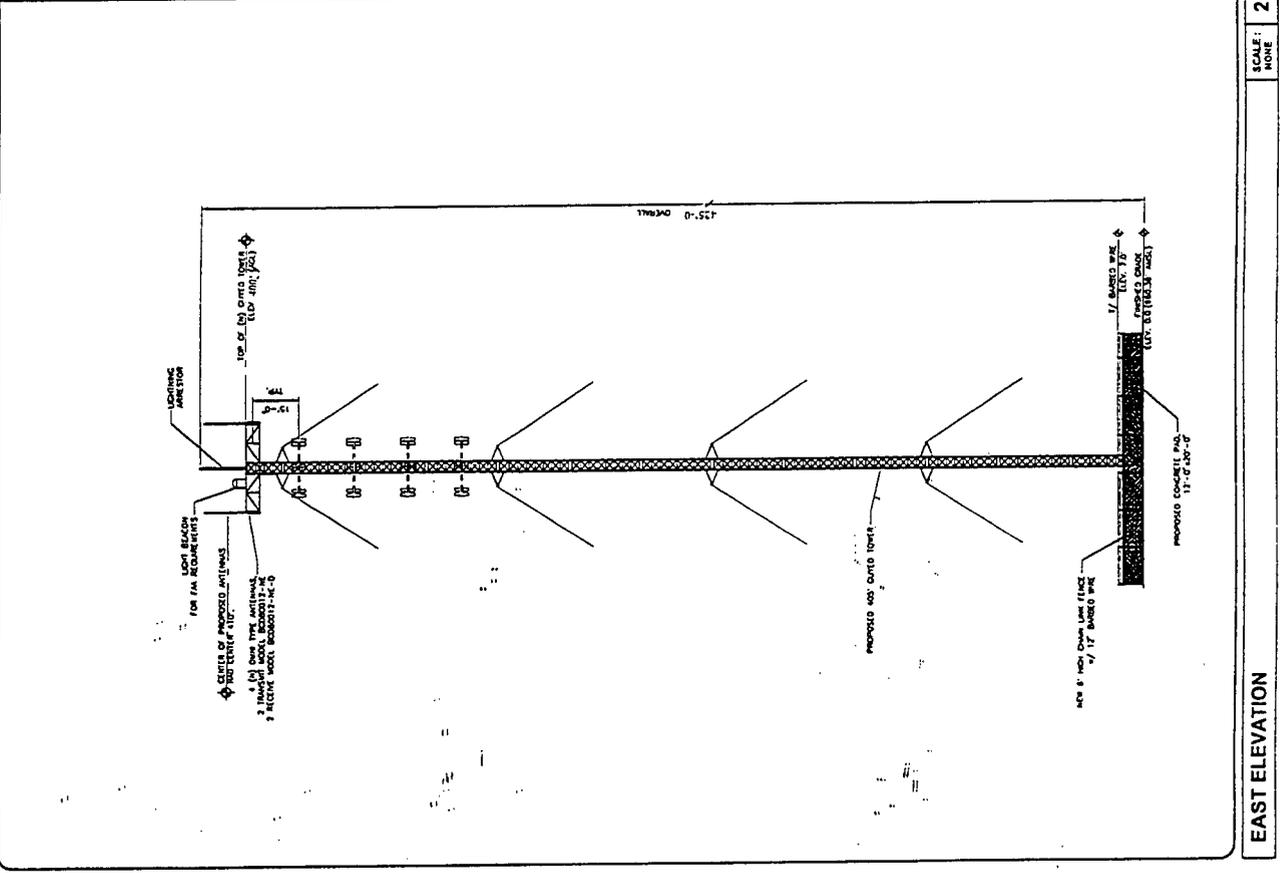
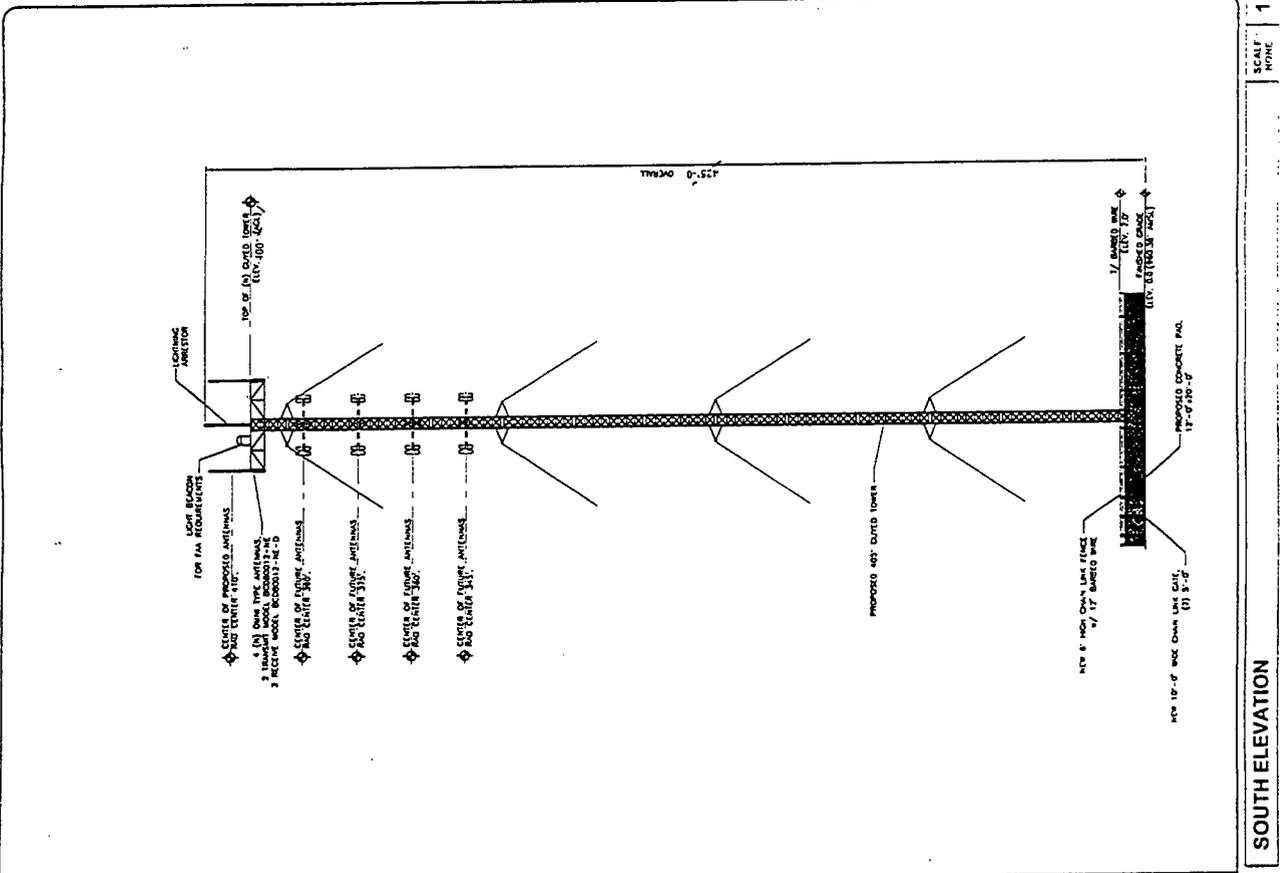
SITE NUMBER: KY251A
SITE NAME: WOODS FERRY
SITE ADDRESS: 557 NUNNERS LANE
MORFHEAD, KY 40351
AREA: LEASE AREA = 10,000 SQ. FT.
PROPERTY OWNER: PAUL J. & MARIE BRYANOUS
557 NUNNERS LANE
MORFHEAD, KY 40351
TAX MAP NUMBER: MAP 13
PARCEL NUMBER: 3

SOURCE OF TITLE: ROSEN Co. VOL. 91, Pg. 31
DRAWN BY: CJ
CHECKED BY: JAM/W

No.	REVISION/ISSUE	DATE
1	ZONING REVIEW	7/19/99
2	ZONING FINAL	7/29/99

TITLE: SOUTH & EAST ELEVATIONS

SHEET: A-2



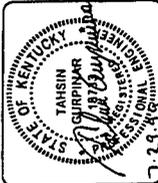
EAST ELEVATION 2 SCALE: NONE

SOUTH ELEVATION 1 SCALE: NONE



1501 INGLETS PARKWAY
SUITE 100
LOUISVILLE, KY 40298
(502) 261-0044
(502) 261-0045 FAX

GEN ENGINEERING
COMPANY
1070 STREET
LOUISVILLE, KY 40203
PHONE: (502) 261-1222
FAX: (502) 261-1249

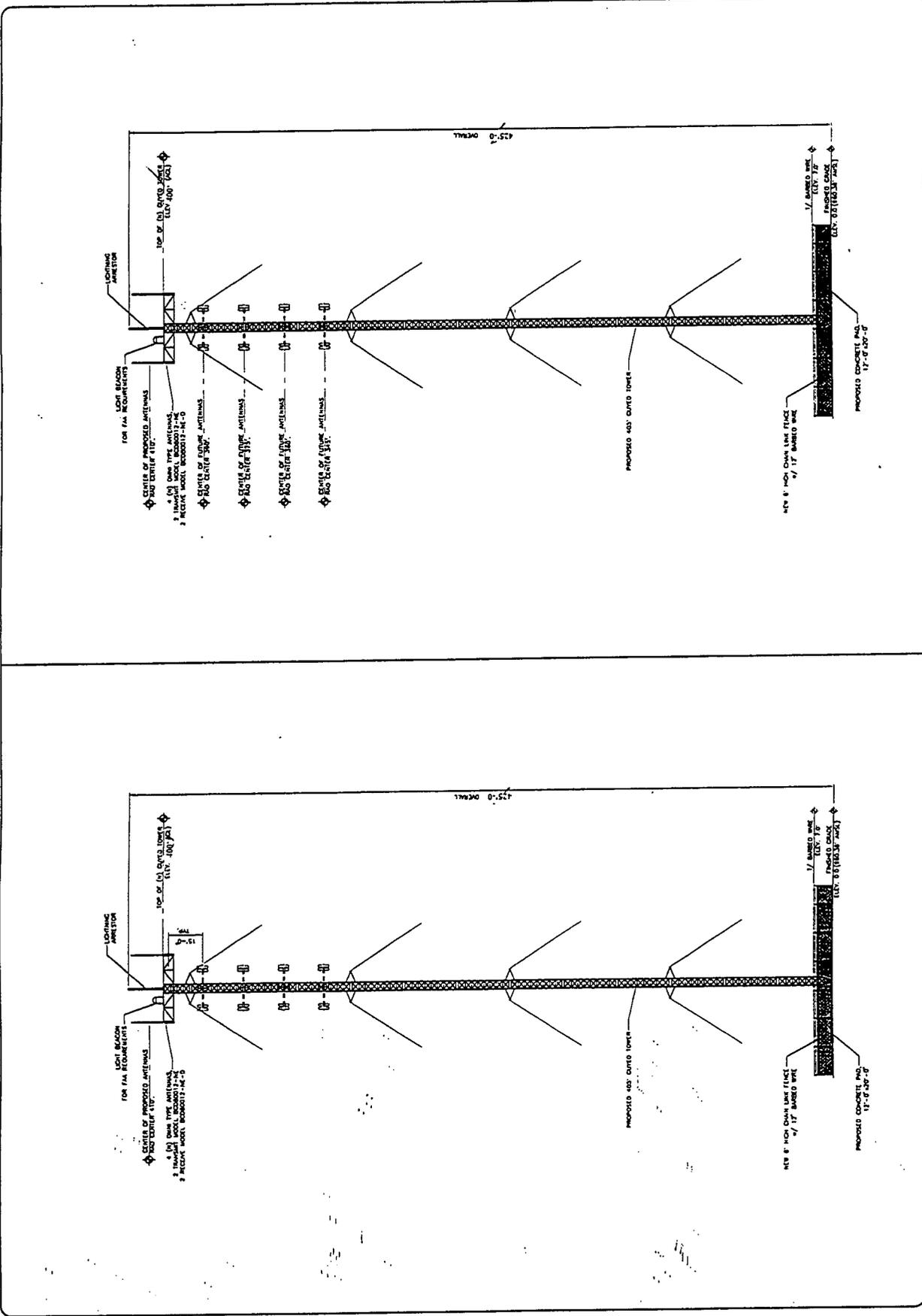


SITE NUMBER: K731A
SITE NAME: LOOKS FERRY
SITE ADDRESS: 537 HUNTER'S LAKE
BORDER TOWNSHIP, KY 40351
AREA: LEASE AREA = 10,000 SQ. FT.
PROPERTY OWNER: BETHWOOD
COMMUNITY DEVELOPMENT
537 HUNTER'S LAKE
BORDER TOWNSHIP, KY 40351
TAX MAP NUMBER: MAP 13
PARCEL NUMBER: 3
SOURCE OF TITLE: BOWEN Co. VOL. 91, PG. 31
DRAWN BY: CL
CHECKED BY: 1A/PM

No.	REVISION/ISSUE	DATE
1	ZONING REVIEW	7/19/99
2	ZONING FINAL	7/19/99

TITLE:
NORTH & WEST
ELEVATIONS

SHEET
A-3

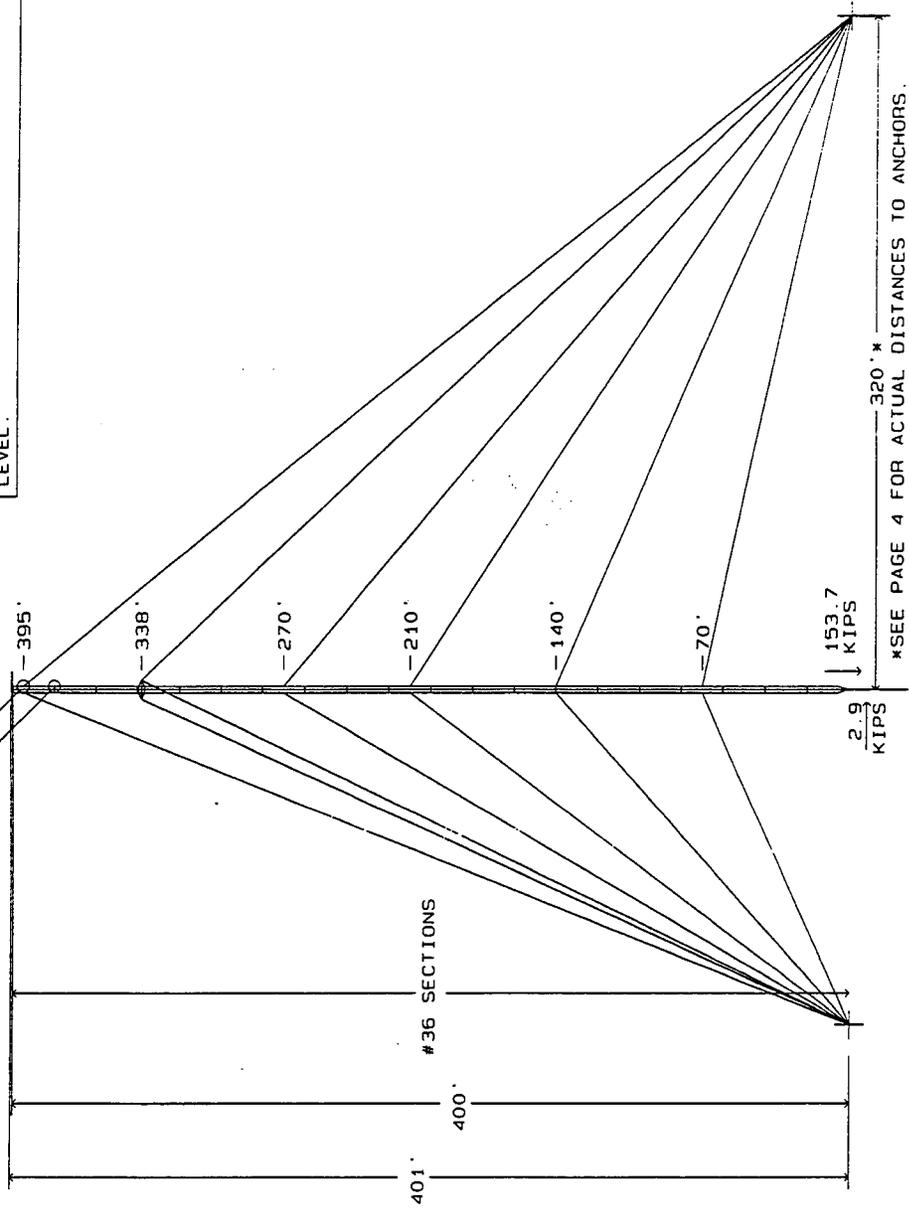


SCALE: NONE | 1 NORTH ELEVATION | 2 WEST ELEVATION

ATTENTION ERECTOR; USE P/N 107150 TO INTERFACE TWO 7/8" TURNBUCKLES TO ANCHOR HEAD, TORQUE ARM LEVEL.

SHOP WELD TOP PLATE P/N 120608 AT TOP OF TOP SECTION. SEE PAGE 3 FOR DETAILS OF ROTATABLE TOP.

A (PAGE 3)
B (PAGE 3)



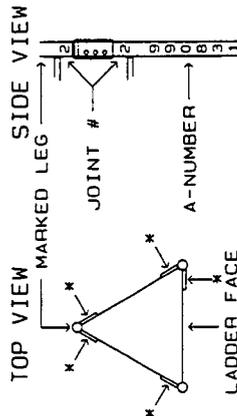
TOWER ELEVATION



AUG 31 1999

				CROWN COMMUNICATIONS MOORES FERRY ECHO KY251, KY # 36 X 401' GUYED TOWER	
APPROVED/ENG.		WRH 08/31/1999		 1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221	
APPROVED/FOUND		N/A			
DRAWN BY		TRP			
REV	DESCRIPTION OF REVISIONS	INI	DATE	ENG. FILE NO.	A-9908317A
B	ADDED FOUNDATIONS PER SOIL REPORT	WRH	08/31/1999	DRAWING NO.	205324-B
A	ADDED FOUNDATIONS PER NORMAL SOIL	WBR	08/30/1999	PAGE	1 OF 14
From: 86213.DFT - 08/27/1999 15:10				ARCHIVE 0-86213	
Printed from: 20532418.DWG - 08/31/1999 11:58 @ 08/31/1999 13:10					

SECTION DATA							LEG CONNECTION		
SPAN HEIGHT	SEC#	LEN	LEGS	BRACES	PART#	BOLT DIAM	BOLT LEN	BOLTS /SEC	
380' - 400'	36	20'	1- 1/2"	5/8"	108369	9/16"	3-1/2"	9	
360' - 380'	36	20'	1- 1/2"	5/8"	108369	9/16"	3-1/2"	9	
320' - 360'	36	20'	1- 1/2"	3/4"	104495	9/16"	3-1/2"	9	
280' - 320'	36	20'	1- 1/2"	5/8"	108369	9/16"	3-1/2"	9	
20' - 280'	36	20'	1- 3/4"	5/8"	104800	5/8"	4"	12	
0' - 20'	36	20'	1- 3/4"		133221	5/8"	4"	12	



THE MARKED LEG OF EACH SECTION IS STAMPED WITH THE TOWER SERIAL # AT THE TOP OF EACH SECTION AND THE JOINT # AT EACH END OF THE SECTION. JOINTS ARE NUMBERED CONSECUTIVELY STARTING WITH 1 AT THE TOP OF THE BASE SECTION. ASSEMBLE TOWER WITH MARKED LEGS TOGETHER IN PROPER SEQUENCE.

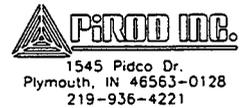
* INDICATES RELATIVE POSITION OF LINE HANGING BRACKETS P/N 131773 AT NOMINAL 3' VERTICAL SPACING.



UG 3.1 1999

CROWN COMMUNICATIONS
 MOORES FERRY ECHO KY251, KY
 # 36 X 401' GUYED TOWER

APPROVED/ENG	WRH	08/31/1999
APPROVED/FOUND	N/A	
DRAWN BY	TRP	



GUY HARDWARE DETAIL

HT.	GUY SIZE	TORO LUG SIZE	SHCKL SIZE	THMBLE SIZE	TURN-BCKLE	PREFORM	INITIAL TENSION **					
							@ -30°F @ 0°F	@ 30°F @ 60°F	@ 90°F @ 120°F			
395'	5/8" EHS.	105062	3/4"	3/4"	1"	BG-2111	4972#	4711#	4472#	4240#	4010#	3797#
338'	9/16" EHS.	12' 105062	3/4"	5/8"	7/8"	BG-2116	4206#	3970#	3725#	3500#	3285#	3070#
270'	9/16" EHS.	105062	3/4"	5/8"	7/8"	BG-2116	4390#	4080#	3788#	3500#	3235#	2981#
210'	9/16" EHS.	105062	3/4"	5/8"	7/8"	BG-2116	4567#	4192#	3835#	3500#	3185#	2890#
140'	1/2" EHS.	105062	5/8"	5/8"	7/8"	BG-2115	3719#	3368#	3008#	2690#	2398#	2126#
70'	1/2" EHS.	105062	5/8"	5/8"	7/8"	BG-2115	3948#	3501#	3082#	2690#	2343#	2036#

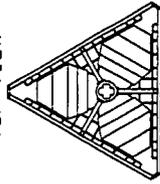
** TENSIONS SHOWN ARE FOR GUY LINE (A). INTERPOLATION IS PERMITTED FOR OTHER TEMPERATURES.
TOLERANCE IS +/- 10% OF INITIAL TENSION SHOWN.

GUY LENGTH DATA

HT.	GUY SIZE	# GUYS	THEORETICAL LENGTH ***		
			(A) NORTHEAST	(B) SOUTH	(C) NORTHWEST
395'	5/8" EHS.	3	573.6'	521.7'	531.2'
338'	9/16" EHS.	6	527.2'	477.9'	486.9'
270'	9/16" EHS.	3	475.0'	429.8'	438.0'
210'	9/16" EHS.	3	432.5'	392.3'	399.4'
140'	1/2" EHS.	3	388.9'	356.4'	361.9'
70'	1/2" EHS.	3	353.8'	331.6'	335.0'

*** THEORETICAL LENGTH SHOWN IS NOT THE CUT LENGTH.
ADD 5% TO 10% TO VALUE LISTED TO ARRIVE AT CUT LENGTH.
QUANTITY OF CABLE SHIPPED IS THEORETICAL LENGTH +10%.

TOP VIEW

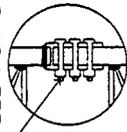


SIDE VIEW

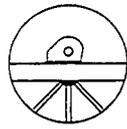


ROTATABLE TOP
(REF ASSEMBLY
DWG # 130555)

A-325 BOLTS
SEE LEG CONNECT
TABLE FOR SIZE



VIEW B
TYPICAL LEG
CONNECTION



VIEW A
TYPICAL GUY
CONNECTION LUG



AUG 31 1999

CROWN COMMUNICATIONS
MOORES FERRY ECHO KY251. KY
36 X 401' GUYED TOWER

APPROVED/ENG. WRH 08/31/1999

APPROVED/FOUND N/A

DRAWN BY TRP

ENG. FILE NO. A-9908317A

ARCHIVE Q-86213



DRAWING NO.

205324-B

PAGE

3 OF 14

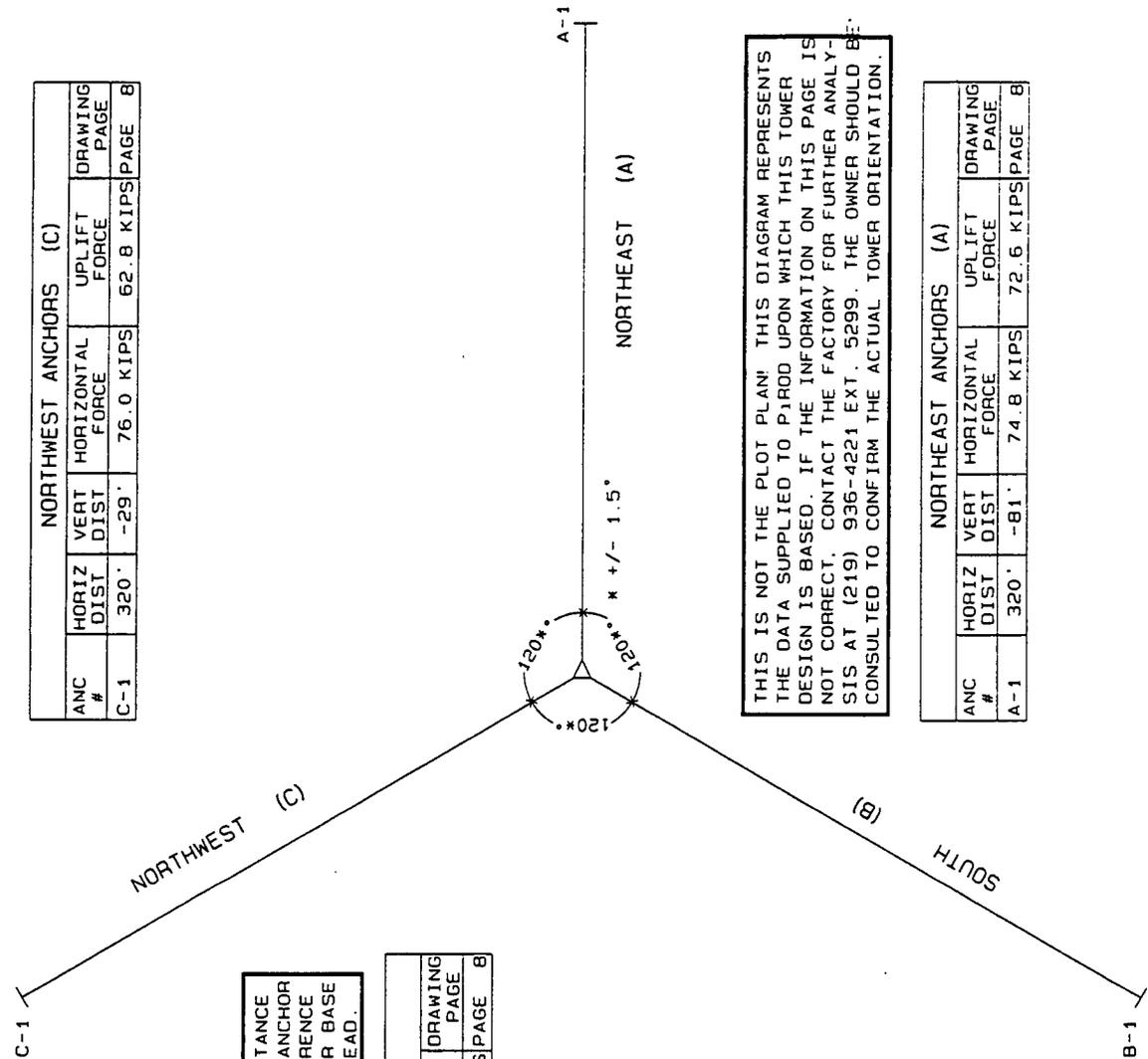
NORTHWEST ANCHORS (C)				
ANC #	HORIZ DIST	VERT DIST	UPLIFT FORCE	DRAWING PAGE
C-1	320'	-29'	76.0 KIPS	62.8 KIPS PAGE 8

NORTHEAST ANCHORS (A)				
ANC #	HORIZ DIST	VERT DIST	UPLIFT FORCE	DRAWING PAGE
A-1	320'	-81'	74.8 KIPS	72.6 KIPS PAGE 8

THIS IS NOT THE PLOT PLAN! THIS DIAGRAM REPRESENTS THE DATA SUPPLIED TO PIROD UPON WHICH THIS TOWER DESIGN IS BASED. IF THE INFORMATION ON THIS PAGE IS NOT CORRECT, CONTACT THE FACTORY FOR FURTHER ANALYSIS AT (219) 936-4221 EXT. 5299. THE OWNER SHOULD BE CONSULTED TO CONFIRM THE ACTUAL TOWER ORIENTATION.

NOTE: THE HORIZONTAL DISTANCE IS THE DISTANCE MEASURED FROM THE TOWER BASE PIN TO THE ANCHOR HEAD. THE VERTICAL DISTANCE IS THE DIFFERENCE BETWEEN THE GROUND ELEVATION AT THE TOWER BASE AND THE GROUND ELEVATION AT THE ANCHOR HEAD.

SOUTH ANCHORS (B)				
ANC #	HORIZ DIST	VERT DIST	UPLIFT FORCE	DRAWING PAGE
B-1	320'	-17'	76.3 KIPS	60.5 KIPS PAGE 8



From: 86213.DFT - 08/27/1999 15:10 Printed from: 2053244@.DWG - 08/27/1999 15:20 @ 08/31/1999 13:05		CROWN COMMUNICATIONS MOORES FERRY ECHO KY251, KY # 36 X 401 GUYED TOWER		
APPROVED/ENG.	WRH	08/31/1999	1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221	
APPROVED/FOUND	WRH	08/31/1999		
DRAWN BY	TRP			
ENG. FILE NO.	A-9908317A		DRAWING NO.	205324-B
ARCHIVE	0-86213		PAGE	4 OF 14

GENERAL NOTES

1. TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-F FOR 70 MPH BASIC WIND SPEED WITH 0.50" RADIAL ICE WITH LOAD DUE TO WIND REDUCED BY 25% WHEN CONSIDERED SIMULTANEOUSLY WITH ICE.
TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-F FOR 70 MPH BASIC WIND SPEED WITH NO ICE.
2. MATERIAL: (A) SOLID RODS CONFORM TO ASTM A-572 GRADE 50 REQUIREMENTS.
(B) ANGLES CONFORM TO ASTM A-36 REQUIREMENTS.
(C) PIPE CONFORMS TO ASTM A-53 TYPE E, GRADE B REQUIREMENTS. (MIN YIELD STRENGTH=42 KSI)
(D) ALL STEEL PLATES CONFORM TO ASTM A-36 REQUIREMENTS.
3. FINISH: HOT DIPPED GALVANIZED AFTER FABRICATION.
4. ANTENNAS:
TOP - TWELVE ALP9011 ANTENNAS ON A LOW PROFILE PLATFORM WITH 1 5/8" LINES.
385' - TWELVE ALP9011 ANTENNAS ON THREE T-FRAMES WITH 1 5/8" LINES.
370' - TWELVE ALP9011 ANTENNAS ON THREE T-FRAMES WITH 1 5/8" LINES.
355' - ONE 8' HIGH PERFORMANCE DISH WITH EW63.
5. MIN. WELDS 5/16" UNLESS OTHERWISE SPECIFIED. ALL WELDING TO CONFORM TO AWS SPECS.
6. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTION(S) ARE INSTALLED.
7. ALL A-325 BOLTS ARE TO BE TIGHTENED TO A SNUG TIGHT CONDITION AS DEFINED BY AISC SPECIFICATION UNLESS OTHERWISE NOTED. A MORE QUANTITATIVE ALTERNATIVE APPROACH TO ACHIEVING A SNUG TIGHT CONDITION IS TO TIGHTEN USING THE TORQUE VALUES FROM DRAWING 123107-A.
8. EIA GROUNDING FOR TOWER.
9. FTB 312 DUAL KIT (351' - 700')
10. ALL TRANSMISSION LINES MUST BE PLACED ON PIROD SUPPLIED TRANSMISSION LINE BRACKETS.



AUG 31 1999

CROWN COMMUNICATIONS
MOORES FERRY ECHO KY251, KY
36 X 401' GUYED TOWER

APPROVED/ENG.	WRH	08/31/1999
APPROVED/FOUND	N/A	
DRAWN BY	TRP	



FOUNDATION NOTES

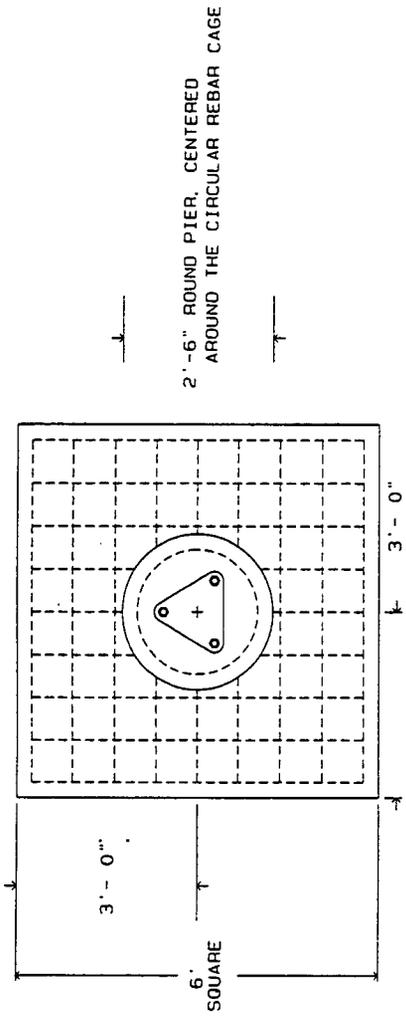
1. SOIL AS PER REPORT BY PSI, INC., DATED: 8/06/99 (FILE: 358-95151)
2. CONCRETE TO BE 3000 PSI @28 DAYS. REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS. CONCRETE INSTALLATION TO CONFORM TO ACI-318 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT. WELDING OF REBAR NOT PERMITTED.
3. ALL FILL SHOULD BE PLACED IN LOOSE LEVEL LIFTS OF NO MORE THAN 8" THICK. FILL MATERIALS SHOULD BE CLEAN AND FREE OF ORGANIC AND FROZEN MATERIALS OR ANY OTHER DELETERIOUS MATERIALS. COMPACT FILL TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698.
4. A COLD JOINT IS PERMISSIBLE. AT THE TOWER BASE ONLY. UPON CONSULTATION WITH PIROD. ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENT'S PRIOR TO SECOND POUR.
5. GUY ANCHOR EXCAVATIONS MUST BE CUT "NEAT" SO THAT THE CONCRETE CAN BE POURED IN DIRECT CONTACT WITH THE UNDISTURBED VERTICAL SOIL SURFACE.
6. BACKFILL MATERIAL IS TO CONSIST OF LEAN CLAY MATERIAL COMPACTED TO THE SPECIFICATION ABOVE. THE LEAN CLAY MATERIAL IS TO EXHIBIT A MINIMUM UNDRAINED SHEAR STRENGTH OF 2500 PSF AND A MINIMUM UNIT WEIGHT OF 115 PCF.
7. DIFFICULTIES DURING EXCAVATION MAY ARISE DUE TO THE PRESENCE OF SHALLOW BEDROCK. PNEUMATIC HAMMERS, RIPPERS, AND/OR BLASTING MAY BE REQUIRED TO REMOVE MATERIAL FROM THE EXCAVATION.
8. A CONCRETE MAT MAY BE USED TO LEVEL THE BEARING SURFACE. THE CONCRETE IN THE LEVELING MAT IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND CAN NOT EXCEED 12" IN THICKNESS.



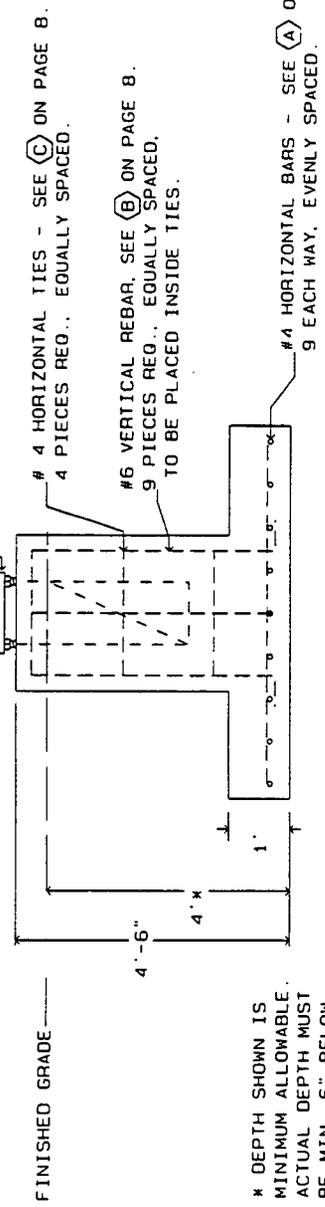
AUG 31 1999

				CROWN COMMUNICATIONS MOORES FERRY ECHO KY251, KY # 36 X 401' GUYED TOWER	
				APPROVED/ENG.	WRH 08/31/1999
				APPROVED/FOUND	WRH 08/31/1999
B	ADDED FOUNDATIONS PER SOIL REPORT	WRH	08/31/1999		
A	ADDED FOUNDATIONS PER NORMAL SOIL	WRH	08/30/1999		
REV	DESCRIPTION OF REVISIONS	INI	DATE	DRAWN BY	TRP
From: 86213.DFT - 08/31/1999 11:49				ENG. FILE NO.	A-9908317A
Printed from: 20532468.DWG - 08/31/1999 11:59 @ 08/31/1999 13:10				ARCHIVE	0-86213
				DRAWING NO.	205324-B
				PAGE	6 OF 14





CAGE P/N 107261 CENTERED IN PIER.
INSTALL WITH 6" OF THREADS EXPOSED.
FOUNDATION PLATE P/N 107260.
GROUT AFTER LEVELING PLATE - BEFORE ERECTING TOWER.



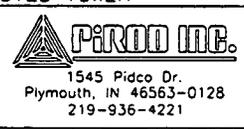
NOTE: ALL REBAR IS EQUALLY SPACED AND
REQUIRES MIN. 3" CONCRETE COVER.

TOWER BASE FOUNDATION
2.0 CU. YDS. CONCRETE REQUIRED



AUG 31 1999

CROWN COMMUNICATIONS
MOORES FERRY ECHO KY251, KY
36 X 401' GUYED TOWER

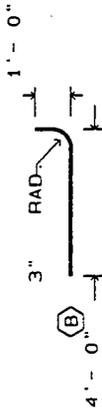


B		ADDED FOUNDATIONS PER SOIL REPORT	WRH	08/31/1999	APPROVED/ENG.	WRH	08/31/1999	
A		ADDED FOUNDATIONS PER NORMAL SOIL	WBR	08/30/1999	APPROVED/FOUND.	WRH	08/31/1999	
REV	DESCRIPTION OF REVISIONS		INI	DATE	DRAWN BY	TRP		
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Printed from 2053247B.DWG - 08/31/1999 11:59 @ 08/31/1999 13:1054					ARCHIVE	0-86213	PAGE	7 OF 14

#4 REBAR - 4 PIECES REQUIRED TOTAL



LAP DIMENSION: 1'-4- 1/2"
 PLACE REBAR RINGS SO THAT LAPS ON
 ADJACENT RINGS ARE 180 DEGREES APART
 APPROX UNBENT LENGTH = 7'-8"
 APPROX WT = 5.1# EACH, 20# TOTAL



#6 REBAR - 9 PIECES REQUIRED TOTAL
 APPROX UNBENT LENGTH = 4'-10- 3/4"
 APPROX WT = 7.4# EACH, 67# TOTAL



#4 REBAR - 18 PIECES REQUIRED TOTAL
 APPROX WT = 3.7# EACH, 66# TOTAL

TOTAL APPROXIMATE REBAR WEIGHT = 153#
 REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS

TOWER BASE FOUNDATION
 REBAR DETAIL - NOT TO SCALE



AUG 31 1999

CROWN COMMUNICATIONS
 MOORES FERRY ECHO KY251, KY
 # 36 X 401' GUYED TOWER

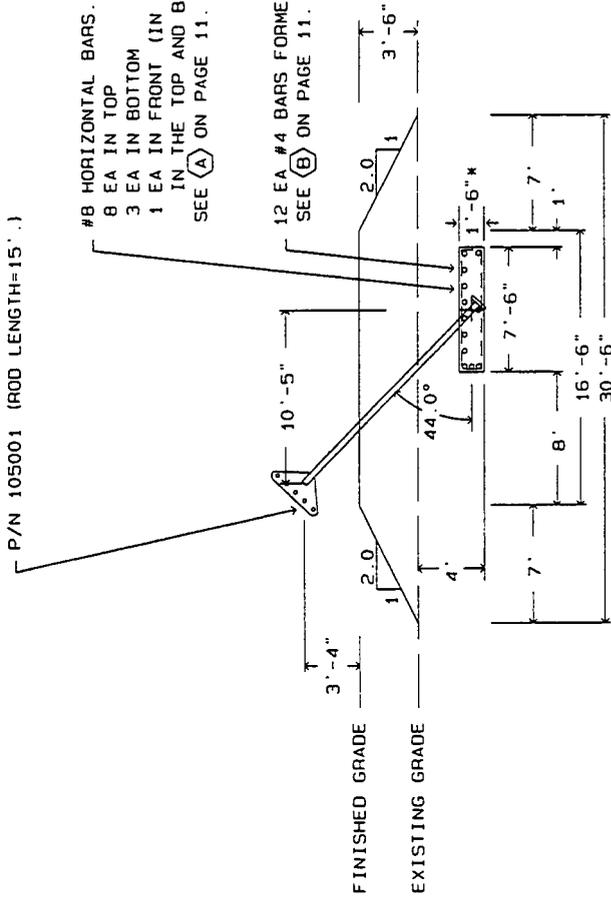
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B	ADDED FOUNDATIONS PER SOIL REPORT	WRH	08/31/1999	APPROVED/ENG.	WRH 08/31/1999
A	ADDED FOUNDATIONS PER NORMAL SOIL	WBR	08/30/1999	APPROVED/FOUND	WRH 08/31/1999



P/N 105001 (ROD LENGTH=15')

#8 HORIZONTAL BARS.
 8 EA IN TOP
 3 EA IN BOTTOM
 1 EA IN FRONT (IN ADDITION TO THOSE
 IN THE TOP AND BOTTOM CORNERS.)
 SEE (A) ON PAGE 11.

12 EA #4 BARS FORMED INTO RECTANGLE.
 SEE (B) ON PAGE 11.



ALL REBAR IS EQUALLY SPACED AND
 REQUIRES MIN. 3" CONCRETE COVER.

FOR GUY WIRE INSTALLATION SEE
 DRAWING #104834-B.

FOR GUY HARDWARE SIZES SEE TABLE
 ON PAGE 3.

* ADDITIONAL CONCRETE THICKNESS
 IS NOT PERMITTED.

BERM REQUIRES APPROXIMATELY 92.0 CU. YDS.
 COMPACTED FILL. SEE PAGE 6 FOR FILL
 SPECIFICATIONS.

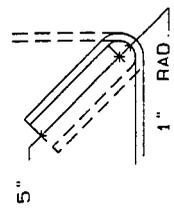
GUY ANCHOR AT LOCATION A-1 ONLY
 1 REQUIRED - 8.5 CU. YDS. CONCRETE REQUIRED



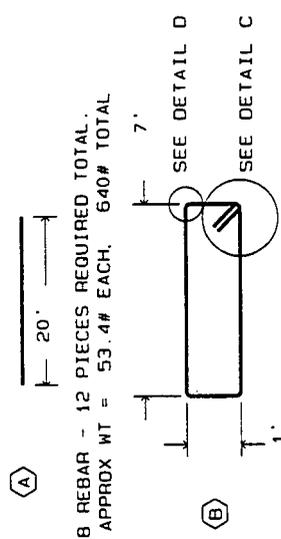
CROWN COMMUNICATIONS
 MOORES FERRY ECHO KY251, KY
 # 36 X 401' GUY ANCHORS

B		ADDED FOUNDATIONS PER SOIL REPORT	WRH	08/31/1999	APPROVED/ENG.	WRH	08/31/1999	1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221
A		ADDED FOUNDATIONS PER NORMAL SOIL	WBR	08/30/1999	APPROVED/FOUND	WRH	08/31/1999	
REV	DESCRIPTION OF REVISIONS		INI	DATE	DRAWN BY	TRP		
From: 86213.DFT - 08/31/1999 11:49					ENG. FILE NO. A-9908317A		DRAWING NO. 205324-B	
Printed from: 2053244B.DWG - 08/31/1999 11:59 @ 08/31/1999 13:10\$					ARCHIVE 0-86213		PAGE 10 OF 14	

DETAIL D
TYPICAL 90° BEND



DETAIL C
TYPICAL 135° HOOK



#8 REBAR - 12 PIECES REQUIRED TOTAL.
APPROX WT = 53.4# EACH, 640# TOTAL

#4 REBAR - 12 PIECES REQUIRED TOTAL.
FORMED INTO A RECTANGLE WITH 135° HOOK AT BOTH ENDS
APPROX UNBENT LENGTH = 16'-7-7/8"
APPROX WT = 11.1# EACH, 133# TOTAL

TOTAL APPROXIMATE REBAR WEIGHT = 773#
REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS.

GUY ANCHOR AT LOCATION A-1 ONLY
REBAR DETAIL - NOT TO SCALE



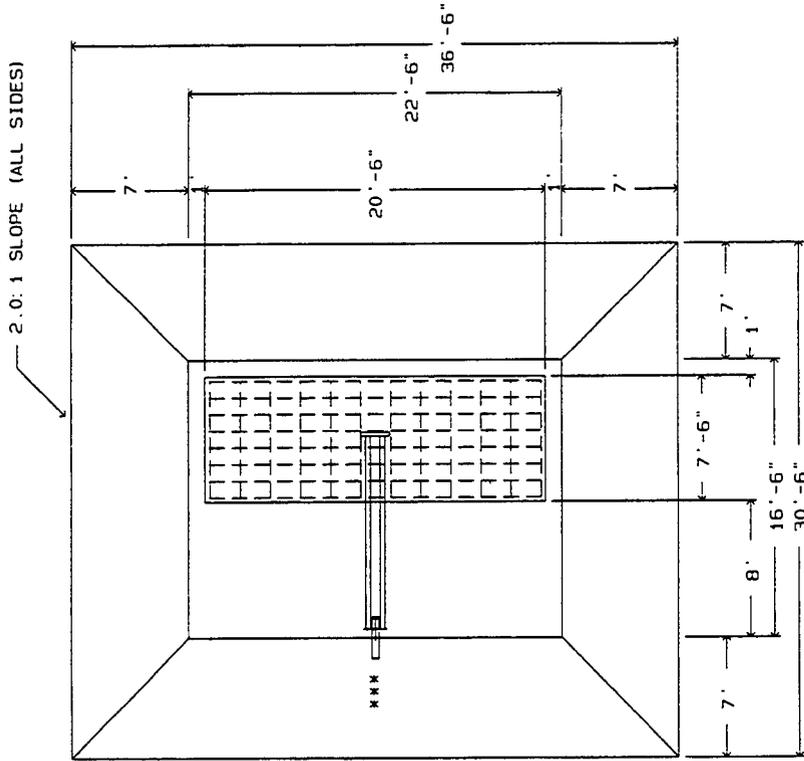
AUG 31 1999

				CROWN COMMUNICATIONS MOORES FERRY ECHO KY251, KY # 36 X 401' GUY ANCHORS	
APPROVED/ENG.		WRH 08/31/1999		 1545 Picco Dr. Plymouth, IN 46563-0128 219-936-4221	
APPROVED/FOUND		WRH 08/31/1999			
REV	DESCRIPTION OF REVISIONS	INI	DATE	DRAWN BY	TRP
From: 86213.DFT - 08/31/1999 11:49				ENG. FILE NO. A-9908317A	
Printed from: 20532488.DWG - 08/31/1999 11:59 @ 08/31/1999 13:10				ARCHIVE Q-86213	
				DRAWING NO. 205324-B	
				PAGE 11 OF 14	

VERTICAL CENTERLINE OF ANCHOR HEAD MUST BE PLUMB +/- 2 DEGREES. ANCHOR RODS MUST BE STRAIGHT. CENTERLINE OF ANCHOR AND RODS MUST BE IN LINE WITH CENTERLINE OF TOWER +/- 1/2 DEGREE (ALL ANCHORS.)

*** SEE PAGE 4 FOR ACTUAL DISTANCE TO TOWER BASE AND RELATIVE HEIGHT.

BERM REQUIRES APPROXIMATELY 92.0 CU. YDS. COMPACTED FILL. SEE PAGE 6 FOR FILL SPECIFICATIONS.



GUY ANCHOR AT LOCATIONS B-1 AND C-1 ONLY
2 REQUIRED - 8.5 CU. YDS. CONCRETE REQUIRED EACH

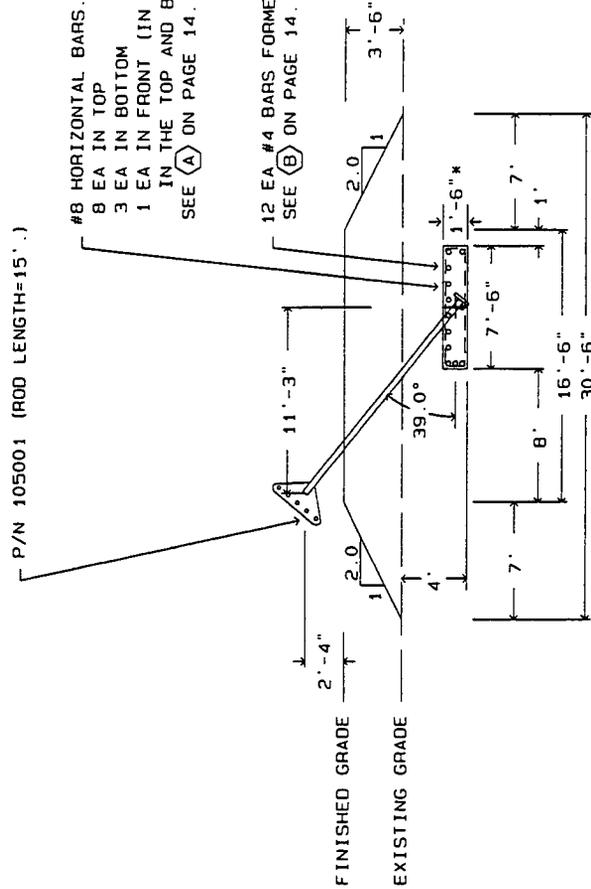


		CROWN COMMUNICATIONS MOORES FERRY ECHO KY251. KY # 36 X 40' GUY ANCHORS		 1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221
		APPROVED/ENG.	WRH 08/31/1999	
		APPROVED/FOUND	WRH 08/31/1999	DRAWING NO. 205324-B PAGE 12 OF 14
		DRAWN BY	TRP	
B	ADDED FOUNDATIONS PER SOIL REPORT	WRH	08/31/1999	From: 86213.DFT - 08/31/1999 11:49 Printed from: 205324CB.DWG - 08/31/1999 11:59 @ 08/31/1999 13:10
A	ADDED FOUNDATIONS PER NORMAL SOIL	WBR	08/30/1999	
REV	DESCRIPTION OF REVISIONS	INI	DATE	ENG. FILE NO. A-9908317A ARCHIVE Q-86213

P/N 105001 (ROD LENGTH=15')

#8 HORIZONTAL BARS.
 8 EA IN TOP
 3 EA IN BOTTOM
 1 EA IN FRONT (IN ADDITION TO THOSE
 IN THE TOP AND BOTTOM CORNERS.)
 SEE (A) ON PAGE 14.

12 EA #4 BARS FORMED INTO RECTANGLE.
 SEE (B) ON PAGE 14.



ALL REBAR IS EQUALLY SPACED AND
 REQUIRES MIN. 3" CONCRETE COVER.

FOR GUY WIRE INSTALLATION SEE
 DRAWING #104834-B.

FOR GUY HARDWARE SIZES SEE TABLE
 ON PAGE 3.

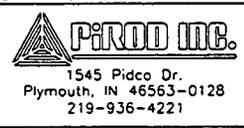
* ADDITIONAL CONCRETE THICKNESS
 IS NOT PERMITTED.

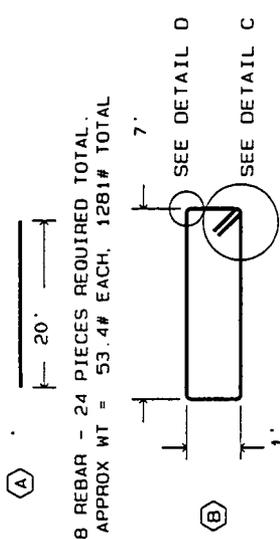
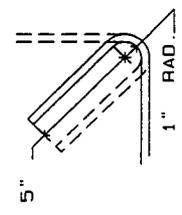
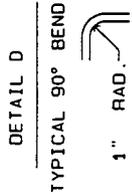
BERM REQUIRES APPROXIMATELY 92.0 CU. YDS.
 COMPACTED FILL. SEE PAGE 6 FOR FILL
 SPECIFICATIONS.



GUY ANCHOR AT LOCATIONS B-1 AND C-1 ONLY
 2 REQUIRED - 8.5 CU. YDS. CONCRETE REQUIRED EACH

		CROWN COMMUNICATIONS MOORES FERRY ECHO KY251, KY # 36 X 401' GUY ANCHORS	
		APPROVED/ENG.	WRH 08/31/1999
		APPROVED/FOUND	WRH 08/31/1999
B	ADDED FOUNDATIONS PER SOIL REPORT	WRH	08/31/1999
REV	DESCRIPTION OF REVISIONS	INI	DATE
From:	86213.DFT - 08/31/1999 11:49	ENG. FILE NO.	A-9908317A
Printed from:	20532408.DWG - 08/31/1999 11:59 @ 08/31/1999 13:10	ARCHIVE	Q-86213
		DRAWING NO.	205324-B
		PAGE	13 OF 14





#8 REBAR - 24 PIECES REQUIRED TOTAL.
APPROX WT = 53.4# EACH, 1281# TOTAL

#4 REBAR - 24 PIECES REQUIRED TOTAL.
FORMED INTO A RECTANGLE WITH 135° HOOK AT BOTH ENDS
APPROX UNBENT LENGTH = 16'-7-7/8"
APPROX WT = 11.1# EACH, 266# TOTAL

TOTAL APPROXIMATE REBAR WEIGHT = 1547#
REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS.

GUY ANCHOR AT LOCATIONS B-1 AND C-1 ONLY
REBAR DETAIL - NOT TO SCALE



				CROWN COMMUNICATIONS MOORES FERRY ECHO KY251, KY # 36 X 401' GUY ANCHORS	
APPROVED/ENG.		WRH	08/31/1999	 1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221	
APPROVED/FOUND		WRH	08/31/1999		
REV	DESCRIPTION OF REVISIONS	INI	DATE	DRAWN BY	TRP
From: B6213.DFT - 08/31/1999 11:49				ENG. FILE NO. A-9908317A	DRAWING NO. 205324-B
Printed from: 205324EB.DWG - 08/31/1999 11:59 @ 08/31/1999 13:10				ARCHIVE 0-86213	PAGE 14 OF 14

EXHIBIT D
COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST

COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST:

1. American Tower
2. APEX
3. Tritel Communications
4. Nextel Partners
5. Spectra Site
6. CommNet
7. GTE Mobilenet, Inc.
8. BellSouth Mobility, Inc.
9. BellSouth Wireless Cable, Inc.
10. NextelWave
11. Powertel Kentucky, Inc.
12. SBA
13. Sprint PCS

**EXHIBIT E
COLLOCATION REPORT**

COLOCATION SITE STATEMENT CHECKLIST

Site #: KY 251 Site Name: Moores Ferry Candidate: A
Property Specialist: Scott A. Farr

C-__: Tower Type: _____ Tower Height: _____
Compound Size: _____
Owner(s): _____
Location: _____

Reason(s) not suitable for Collocation:

- The existing tower or facility is not of sufficient height to meet the applicant's engineering requirements.
- The facility's compound is not sufficient in size to accommodate additional carriers.
- The existing height of the facility is insufficient to meet radio propagation requirements for the proposed network.
- The tower is more than one mile from the approximate center of the search ring.
- Other: _____

Other: No towers within three to four miles of search ring and existing raw land owner.

HISTORY INDEX FOR CASE: 1999-383

AS OF : 03/06/00

KENTUCKY CGSA, INC., DBA BELLSOUTH MOBILITY, WESTEL-MILWAUKEE, BSC

Construct

CELL SITE - 557 HUNTER'S LANE - ROWAN COUNTY, MOREHEAD

IN THE MATTER OF THE APPLICATION OF CROWN COMMUNICATIONS
 INC. AND KENTUCKY CGSA, INC. FOR ISSUANCE OF A CERTIFICATE
 OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT A WIRELESS
 COMMUNICAITONS FACILITY AT 557 HUNTER'S LANE, MOOREHEAD,
 KENTUCKY 40351

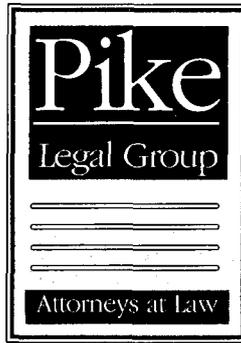
IN THE WIRELESS COMMUNICATIONS LICENSE AREA

IN THE COMMONWEALTH OF KENTUCKY

IN THE COUNTY OF ROWAN

SITE NAME: MOORES FERRY

SEQ NBR	ENTRY DATE	REMARKS
0001	09/29/1999	Application.
M0001	10/05/1999	PAUL & MABEL REYNOLDS-LETTER STATEING NO RESIDENTS WITHIN 500 FEET OF TOWER
0002	10/08/1999	Acknowledgement letter.
0003	10/11/1999	Copy of letter dated 10/5/99 by the Reynolds' sent to D. Pike and S. McNamara.
0004	10/15/1999	No def. letter
M0002	11/01/1999	CROWN COMMUNICATIONS DAVID PIKE-MOTION TO SUBMIT FOR EXPEDITED DECISION WITHOUT PUBLIC HEAR
0005	12/28/1999	Final Order approving cell site construction.
M0003	01/14/2000	DAVID PIKE CROWN COMMUNICATIONS-FEDERAL AVIATION & KY AIRPORT ZONING ADM COMMISSION APPROVAL



RECEIVED

JAN 14 2000

PUBLIC SERVICE
COMMISSION

January 13, 2000

Susan G. Hutcherson
Filings Division Manager, Docket Branch
Kentucky Public Service Commission
730 Schenkel Lane
P.O. Box 615
Frankfort, KY 40602

Re: Applicant: Crown Communication, Inc.
PSC Case No.: 99-383
Crown Site No.: KY251
Crown Site Name: Moores Ferry
Federal Aviation Administration Approval
Kentucky Airport Zoning Commission Approval

Dear Susan:

Please accept this letter and the attached documents as an official filing in the above-referenced Public Service Commission action. The Certificate of Public Convenience and Necessity issued in this action called for the Applicant to file a copy of the Federal Aviation Administration and Kentucky Airport Zoning Commission approvals once they were obtained. Copies of this relevant documentation are attached to this letter for inclusion in the official case file.

If you have any questions or comments concerning this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "David A. Pike".

David A. Pike
Regional Counsel, Crown Communication Inc.
E-mail: pikelegal@aol.com

DAP/slb

Enclosures



LEX-MBF
Moore Ferry

Federal Aviation Administration
Southern Region, ASO-520
P.O. Box 20636
Atlanta, GA 30320

AERONAUTICAL STUDY
No: 99-ASO-4062-OE

ISSUED DATE: 10/13/99

DAN BENNETT
BELLSOUTH MOBILITY, INC
1650 LYNDON FARMS CT
LOUISVILLE, KY 40223

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has completed an aeronautical study under the provisions of 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerning:

Description: NEW ANTENNA TOWER
SEE ATTACHED FREQUENCIES
Location: MOORES FERRY KY
Latitude: 38-10-15.46 NAD 83
Longitude: 083-34-31.09
Heights: 425 feet above ground level (AGL)
1385 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does exceed obstruction standards but would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

-As a condition to this determination, the structure should be marked and/or lighted in accordance with FAA Advisory Circular 70/7460-1J, Obstruction Marking and Lighting, Chapters 4, 8(M-Dual), & 13.

-It is required that the enclosed FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

N/A At least 10 days prior to start of construction
(7460-2, Part I)

X Within 5 days after construction reaches its greatest height
(7460-2, Part II)

-See attachment for additional condition(s) or information.

This determination expires on 04/13/01 unless:

- (a) extended, revised or terminated by the issuing office or
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case the determination expires on the date prescribed by the FCC for completion of construction or on the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE.

-As a result of this structure being critical to flight safety, it is required that the FAA be kept apprised as to the status of this project. Failure to respond to periodic FAA inquiries could invalidate this determination.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, frequency(ies) or use of greater power will void this determination. Any future construction or alteration, including increase in heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission if the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at 404-305-5581. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 99-ASO-4062-OE.

Wade Carpenter

Wade Carpenter
Specialist, Airspace Branch

(EBO)

7460-2 Attached
Attachment

ATTACHMENT

AERONAUTICAL STUDY

NO. 99-ASO-4062-OE

FREQUENCIES

800-960 MHz 500 Watts

1500-2000 MHz 500 Watts

144-502 MHz 500 Watts

6.0 GHz 5 Watts

ATTACHMENT

AERONAUTICAL STUDY

NO. 99-ASO-4062-OE

The proposed antenna tower will be located approximately 2.81 nautical miles (NM) southeast from the proposed Morehead-Rowan County Airport (MRKY), Moores Ferry, Kentucky, Airport Reference Point. The proposed structure exceeds the standard for determining obstructions to air navigation under the provisions of Title 14, Code of Federal Regulations (CFR), part 77 standards as follows:

Exceeds FAR 77.23-(a) (2) by 159 feet, its height more than 266 feet above ground level (AGL), as applied to the MRKY Airport.

Details of the proposal were not circulated to the aeronautical public for comments, as the proposed tower did not affect an airport or require a change in aeronautical operations or procedures.

//////////////////////////////////////END OF COMMENTS//////////////////////////////////////



Kentucky Airport Zoning Commission
125 Holmes Street
Frankfort, KY 40622

(502) 564-4480
fax: (502) 564-7953
No.: AS-103-132-99-177

Moore's Ferry

BSM 25675

November 29, 1999

Moore's Ferry

APPROVAL OF APPLICATION

APPLICANT:
BELLSOUTH MOBILITY
DAN BENNETT, RF ENGINEER
1650 LYNDON FARMS COURT
Louisville, KY 40223

SUBJECT: AS-103-132-99-177

STRUCTURE: Antenna Tower
LOCATION: Moore's Ferry, KY
COORDINATES: 38°10'15.46"N / 83°34'31.09"W
HEIGHT: 425' AGL / 1,385' AMSL

The Kentucky Airport Zoning Commission has approved your application for a permit to construct (425' AGL / 1,385' AMSL) Antenna Tower near Moore's Ferry, KY 38°10'15"N, 83°34'31"W.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

A copy of the approved application is enclosed for your files.

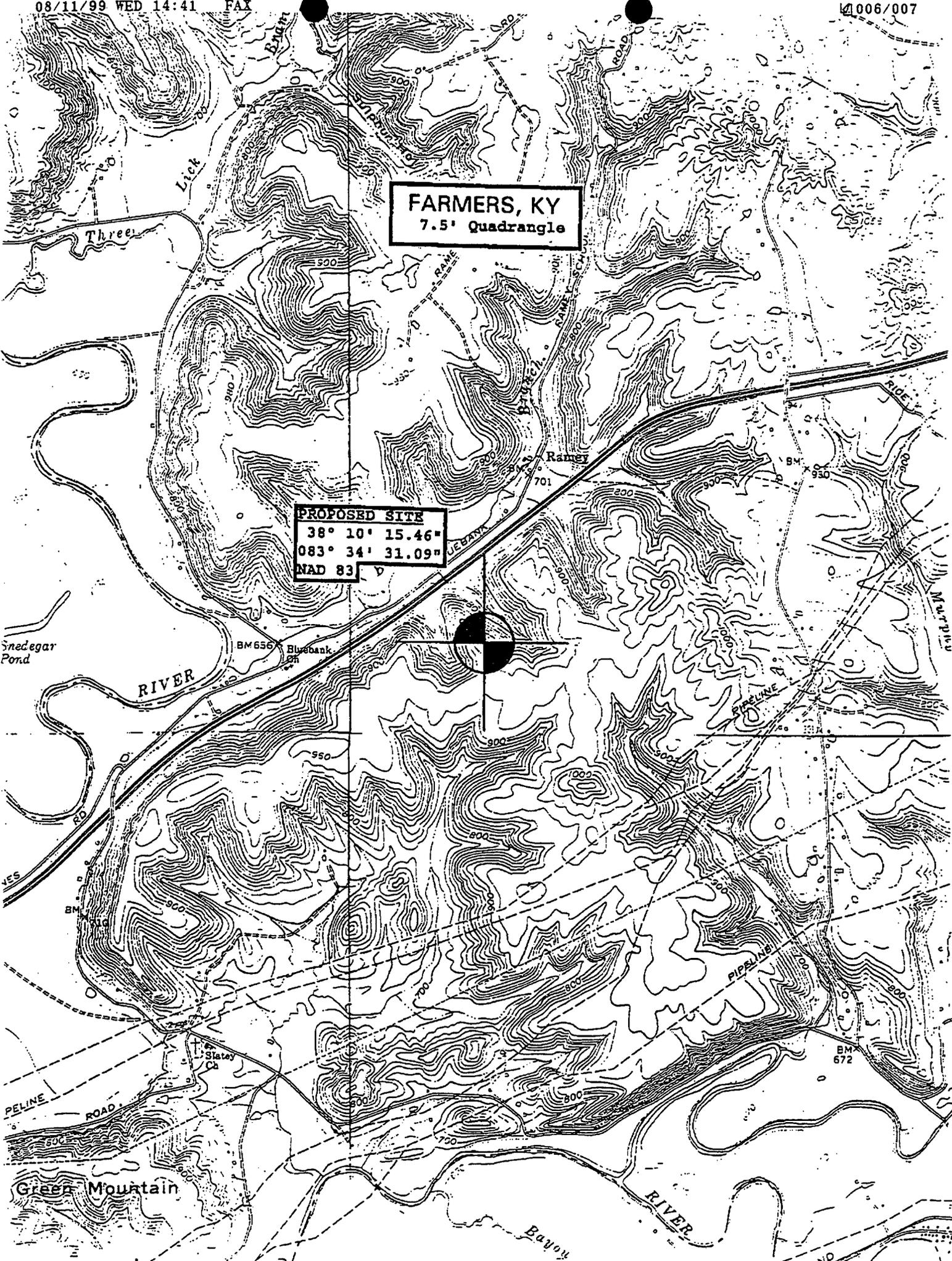
Dual obstruction lighting is required in accordance with 602 KAR 50:100..

Ronald Bland, Administrator

**EXHIBIT F
APPLICATION TO FAA**

FARMERS, KY
7.5' Quadrangle

PROPOSED SITE
38° 10' 15.46"
083° 34' 31.09"
NAD 83



Snedegar Pond

RIVER

BM 656 Bluebank

Ramey

Green Mountain

RIVER

Bayou

PELINE ROAD

PIPELINE

PIPELINE

BM 672

Slaty Ch

BM 655

701

BM 950

Three

Lick

BRIDGE

ROAD

MURPIN

AND

EXHIBIT G
APPLICATION TO KENTUCKY AIRPORT ZONING COMMISSION

FILE COPY *Moore's Ferry*

KAZC FORM TC 56-50 (01/96)

KENTUCKY TRANSPORTATION CABINET, DIVISION OF AERONAUTICS, 125 HOLMES STREET, FRANKFORT, KY 40622 APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE - INSTRUCTIONS ON REVERSE SIDE OF FORM -			AERONAUTICAL STUDY NUMBER	
1. NATURE OF PROPOSAL			2. DESCRIPTION OF STRUCTURE	
A. TYPE <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ALTERATION	B. CLASS <input checked="" type="checkbox"/> PERMANENT <input type="checkbox"/> TEMPORARY	C. WORK SCHEDULE After FAA BEGIN <u>Approval</u> END <u>Within 18 Months</u>	This proposed cellular communications installation will operate in the 800.0 - 960.0, 1500.0 - 2000.0, 144.0 - 502.0 MHz band with 500.0 Watts ERP; 6.000 Ghz Microwave with 5 Watts ERP. IN THE EVENT YOUR INITIAL STUDY INDICATES NO ADVERSE IFR EFFECT PLEASE CONTINUE YOUR STUDY IF NECESSARY IN ORDER TO ISSUE A DETERMINATION FOR THIS STRUCTURE. The proposed site is located 6,800' Southwest from the intersection of Interstate 64 and State Route 801 (chart attached). The site is located 2.81 NM on a True Bearing of 169.27° from the ARP of MOREHEAD-ROWAN CO. (PROPOSED).	
3A. APPLICANT - NAME, ADDRESS & TELEPHONE Dan Bennett BellSouth Mobility, Inc. 1650 Lyndon Farms Court Louisville, KY 40223 (502) 329-7601				
B. REPRESENTATIVE OF APPLICANT - NAME, ADDRESS & TELEPHONE John R. Schroeter Airspace Safety Analysis Corporation 1745 Phoenix Boulevard, Suite 120 Atlanta, Georgia 30349 (770) 994-1557				
4. LOCATION OF STRUCTURE			5. HEIGHT & ELEVATION	
A. GEOGRAPHIC COORDINATES (NEAREST SECOND)	B. NEAREST KY CITY Moore's Ferry	C. NEAREST KY AIRPORT MOREHEAD-ROWAN CO. (PROPOSED)	A. SITE ELEVATION (ABOVE MEAN SEA LEVEL)	960'
LATITUDE 38° 10' 15.46"	(1) DISTANCE TO 4B 2 NM	(1) DISTANCE TO RUNWAY 2.53 NM	B. HEIGHT OF STRUCTURE, INCLUDING APPURTENANCES AND LIGHTS (ABOVE GROUND LEVEL)	425'
LONGITUDE 083° 34' 31.09" West	(2) DIRECTION TO 4B	(2) DIRECTION TO AIRPORT 349.28345.52	C. OVERALL HEIGHT (AMSL) (A+B)	1,385'
6. OBSTRUCTION MARKING & LIGHTING			YES	NO
A. MARKED FOR THE PROTECTION OF AIR NAVIGATION (FLAGS, SPHERES, ETC.)				X
B. OBSTRUCTION MARKED IN ACCORDANCE WITH 602KAR50:100 (FAA AC 70/7460-1E)				X
C. OBSTRUCTION LIGHTED IN ACCORDANCE WITH 602KAR50:100 (FAA AC 70/7460-1E)			X	
7. HAS "NOTICE OF CONSTRUCTION OR ALTERATION" (FORM 7460-1) BEEN FILED WITH THE FEDERAL AVIATION ADMINISTRATION? IF SO, WHEN?				
8. CERTIFICATION - I HEREBY CERTIFY THAT ALL THE ABOVE STATEMENTS MADE BY ME ARE TRUE, COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.				
Dan Bennett BY R.F. Engineer NAME (PRINTED), SIGNATURE & TITLE		<i>Dan Bennett</i>		DATE 08/09/1999
PENALTIES. PERSONS FAILING TO COMPLY WITH KENTUCKY REVISED STATUTES AND KENTUCKY AIRPORT ZONING COMMISSION ADMINISTRATIVE REGULATIONS ARE LIABLE FOR FINES OR IMPRISONMENT AS SET FORTH IN KRS 183.990(3). NON-COMPLIANCE WITH FEDERAL AVIATION ADMINISTRATION REGULATIONS MAY RESULT IN FURTHER PENALTIES.				
COMMISSION ACTION	CHAIRMAN, KAZC (OR) ADMINISTRATOR, KAZC			
APPROVED	DATE			
DISAPPROVED				

25675

**EXHIBIT H
GEOTECHNICAL REPORT**

GEOTECHNICAL ENGINEERING SERVICES REPORT

Proposed Guy Tower (KY 251a)
557 Hunter's Lane
Morehead, Kentucky

PSI File No. 358-95151

RECEIVED
AUG 09 1999

BY:.....

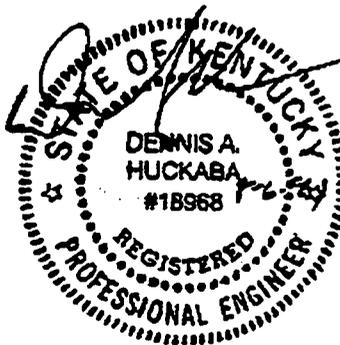
PREPARED FOR

Mr. Don Spencer
National Assessment Corporation
1331 Union Avenue, Suite 1025
Memphis, Tennessee 38104

August 6, 1999

BY

PROFESSIONAL SERVICE INDUSTRIES, INC.



Tracey Reagan
Tracey Reagan, E.I.
Project Manager
Geotechnical Services

Dennis A. Huckaba, P.E.
Department Manager
Geotechnical Services

Ralph Reuss
Ralph Reuss
Vice-President

PROJECT INFORMATION

Project Authorization

Professional Service Industries, Inc. (PSI) has completed a geotechnical exploration for the proposed Guy Tower (KY 251a) in Morehead, Kentucky. Our services were authorized by Mr. Don Spencer of the National Assessment Corporation.

Project Description

Project information was provided by Mr. Don Spencer of National Assessment Corporation. We have also been furnished with a fax drawing from GEM Engineering Company that depicts the tower location. We understand that the proposed construction will consist of an approximately 400-foot tall tower with 3 guy supports. Based on the other similar tower projects, uplift and axial loading may reach 200 to 250 kips. Specific load information should be provided for review by PSI once the information is available.

The geotechnical recommendations presented in this report are based on the available project information, tower location, and the subsurface materials described in this report. If any of the noted information is incorrect, please inform PSI in writing so that we may amend the recommendations presented in this report if appropriate and if desired by the client. PSI will not be responsible for the implementation of its recommendations when it is not notified of changes in the project.

Purpose and Scope of Services

The purpose of this study was to explore the subsurface conditions at the site to develop recommendations for foundation design parameters and construction. Our scope of services included drilling 4 soil borings at the site to depths of about 20 to 35 feet below the surface or refusal, whichever was shallower, select laboratory testing, and preparation of this geotechnical report. The borings were not accessible to a truck mounted-drill rig. Even with a bulldozer, some of the borings are not accessible. Shallow bedrock was observed, also. It was requested to obtain subsurface information by hand techniques. This report briefly outlines the testing procedures, presents available project information, describes the site and subsurface conditions,

and presents recommendations for foundation design parameters and construction.

The scope of services did not include an environmental assessment for determining the presence or absence of wetlands, or hazardous or toxic materials in the soil, bedrock, surface water, groundwater, or air, on, or below, or around this site. Any statements in this report or on the boring logs regarding odors, colors, and unusual or suspicious items or conditions are strictly for informational purposes. Prior to development of this site, an environmental assessment is advisable.

SITE AND SUBSURFACE CONDITIONS

Site Location and Description

The site for the proposed approximately 400-foot high guyed tower is located at 557 Hunter's Lane in Morehead, Kentucky. It is south of Interstate 64 and west of Highway 801 in Rowan County. An access road was to the north and a drainage line, running north and south, bordered the site to the east.

At the time of the field exploration, the site was densely wooded. The site was fairly level at the tower base location, sloping downward towards the anchor locations with a maximum surface relief of approximately 10 feet. The surficial soils were firm at the time of the field exploration.

Subsurface Conditions

The site subsurface conditions were explored with 4 soil test borings. The boring locations and depths were selected and located in the field by a representative of GEM Engineering Company. The borings were advanced utilizing a hand auger drilling method and soil samples were routinely obtained during the drilling process. Drilling and sampling techniques were accomplished generally in accordance with ASTM procedures. Select soil samples were tested in the laboratory to determine material properties for our evaluation. Laboratory testing was accomplished generally in accordance with ASTM procedures.

The borings were drilled to hand auger refusal depths of about 3 feet at boring B-3 and

about 4 feet at the remaining borings. The subsurface conditions identified by the 4 borings primarily included lean clays and silts with occasional topsoil and shale pieces. Weathered shale was encountered at boring B-4 at a depth of 1.0 foot. Unconfined compressive strengths, as measured by a calibrated pocket penetrometer, indicated that the soils had relative strength values ranging from 3.0 tsf to 4.5+ tsf. The moisture content of these soils ranged from 7 to 14 percent. The soils were visually classified as mostly CL and some ML according to the Unified Soil Classification System.

Refusal was encountered in all 4 borings at depths of 3 feet at boring B-4 and 4 feet at the remaining borings. Refusal is a designation applied to any material that cannot be penetrated by the power auger and is normally indicative of a very hard or very dense material, such as large boulders or the upper surface of bedrock. Rock coring was beyond the scope of this exploration; therefore, the character and continuity of the refusal materials could not be determined.

The above subsurface description is of a generalized nature to highlight the major subsurface stratification features and material characteristics. The boring logs included in the appendix should be reviewed for specific information at individual boring locations. These records include soil descriptions, stratifications, locations of the samples and laboratory test data. The stratifications shown on the boring logs represent the conditions only at the actual boring locations. Variations may occur and should be expected between boring locations. The stratifications represent the approximate boundary between subsurface materials and the actual transition may be gradual. Water level information obtained during field operations is also shown on these boring logs. The samples that were not altered by laboratory testing will be retained for 60 days from the date of this report and then will be discarded.

Groundwater Information

The 4 borings were dry upon completion of soil drilling, indicating that the continuous groundwater level at the site at the time of the exploration was either below the terminated depth of the borings, or that the soils encountered were relatively impermeable. Although groundwater was not encountered at this time, it is possible for a groundwater table to be present or fluctuate in the borings within the depths explored during other times of the year depending upon climatic and rain fall conditions. Additionally, discontinuous zones of perched water may exist within the overburden materials and/or at the contact with bedrock.

RECOMMENDATIONS

Foundation Design Parameters

At the tower base, a conventional spread footing foundation may be designed for an allowable soil bearing pressure of 6,000 PSF under combined dead and live loads. The depth of footing should be a minimum of 3 feet.

Uplift and lateral capacity, depending on load magnitude, can be developed by anchor blocks or drilled piers. Design parameters for each type are as follows:

Anchor Blocks

Depth Range Ft.	Maximum Intermittent Loads		Continuous Loads	
	ϕ	C psf	ϕ'	C' psf
0-2	Neglect	Neglect	Neglect	Neglect
>2	0	4000	28	300

Where:

ϕ = Angle of Internal Friction

C = Cohesion (psf)

Total Density 125 pcf

Groundwater below 4.0 Feet

Drilled Piers

Depth Range Ft.	Shear Strength psf	Ultimate Friction psf	Lateral Modulus K, pci	Strain Factor E_{s0}
0-2	Neglect	Neglect	Neglect	Neglect
>2	4000	2200	800	0.004

Field inspection should be planned at the time of construction to verify soil conditions for anchor blocks and piers.

A factor of safety of 2.0 should be applied to all loads for definition of anchor block and drilled pier dimensions. Concrete with a slump of 7 to 9 inches should be used for drilled piers.

Other structures may be supported on conventional spread footing foundations bearing on stiff to very stiff natural soils. Spread footings can be designed for an allowable soil bearing pressure of 3,000 psf. Minimum dimensions of 24 inches for column footings and 18 inches for continuous footings should be used in foundation design to minimize the possibility of a local bearing capacity failure. Footings should be located at a depth of at least 24 inches below the final exterior grade to provide adequate frost protection.

The foundation excavations should be observed by a representative of PSI prior to steel or concrete placement to assess that the foundation materials are capable of supporting the design loads and are consistent with the materials discussed in the report. Soft or loose soils zones encountered at the bottom of the footing excavation should be removed to the level of stiff to very stiff residual soils as directed by the geotechnical engineer. Cavities formed as a result of excavation of soft or loose soils zones should be backfilled with lean concrete.

After opening, foundation excavations should be observed and concrete placed as quickly as possible to avoid exposure of the footing bottoms to wetting and drying. Surface run-off water should be drained away from the excavations and not be allowed to pond. The foundation concrete should be placed during the same day the excavation is made. If it is required that footing excavation be left open for more than one day, they should be protected to reduce evaporation or entry of moisture.

Consolidation testing was beyond the scope of this exploration. Based on the known subsurface conditions and site geology, laboratory testing and past experience, we anticipate that properly designed and constructed footings supported on the recommended materials should experience maximum total settlements of less than one inch.

Subgrade Preparation

Topsoil should be removed from any building or pavement areas. Subgrade surfaces which are to receive fill or support slabs or pavements should be proofrolled with suitable construction equipment, and any soft or pumping areas identified and stabilized. Any earth fill required is to be placed in lifts of 8 inches or less, and is to be compacted to a minimum in place density of 98 percent of the maximum laboratory density as determined in accordance with ASTM standard method D-698. All concrete floor slabs should include a granular base layer at least 4 inches in thickness and a membrane below the slab.

CONSTRUCTION CONSIDERATIONS

PSI should be retained to provide observation and testing of construction activities involved in the foundation, earthwork, and related activities of this project. PSI cannot accept responsibility for any conditions that deviated from those described in this report, nor for the performance of the foundations if not engaged to also provide construction observation and testing for this project.

Groundwater Concerns

Groundwater was not encountered in any of the borings at the time the field exploration was accomplished. However, it is possible that seasonal variations will cause fluctuations or a water table to be present in the upper soils at a later time. Additionally perched water may be encountered in discontinuous zones within the overburden and/or at contact with bedrock. Any water accumulation should be removed from excavations by pumping. Should excessive and uncontrolled amounts of seepage occur, the geotechnical engineer should be consulted.

Excavations

In Federal Register, Volume 54, No. 209 (October 1989) the United States Department of Labor, Occupational Safety and Health Administration (OSHA) amended its "Construction Standards for Excavation, 29 CFR, part 1926, Subpart P." This document was issued to better insure the safety of workmen entering trenches or excavations. It is mandated by this federal regulation that excavations, whether they be utility trenches, basement excavations or footing excavations, be constructed in accordance with the new OSHA guidelines. It is our understanding that these regulations are being strictly enforced and if they are not closely followed the owner and the contractor could be liable for substantial penalties.

The contractor is solely responsible for designing and constructing stable, temporary excavations and should shore, slope, or bench the sides of the excavations as required to maintain stability of both the excavation sides and bottom. The contractor's "responsible person", as defined in 29 CFR part 1926, should evaluate the soil exposed in the excavations as part of the contractor's safety procedures. In no case should slope height, slope inclination or excavation depth, including utility trench excavation depth, exceed those specified in local, state, and federal safety regulations.

-7-

We are providing this information solely as a service to our client. PSI does not assume responsibility for construction site safety or the contractor's or other parties' compliance with local, state, and federal safety or other regulations.

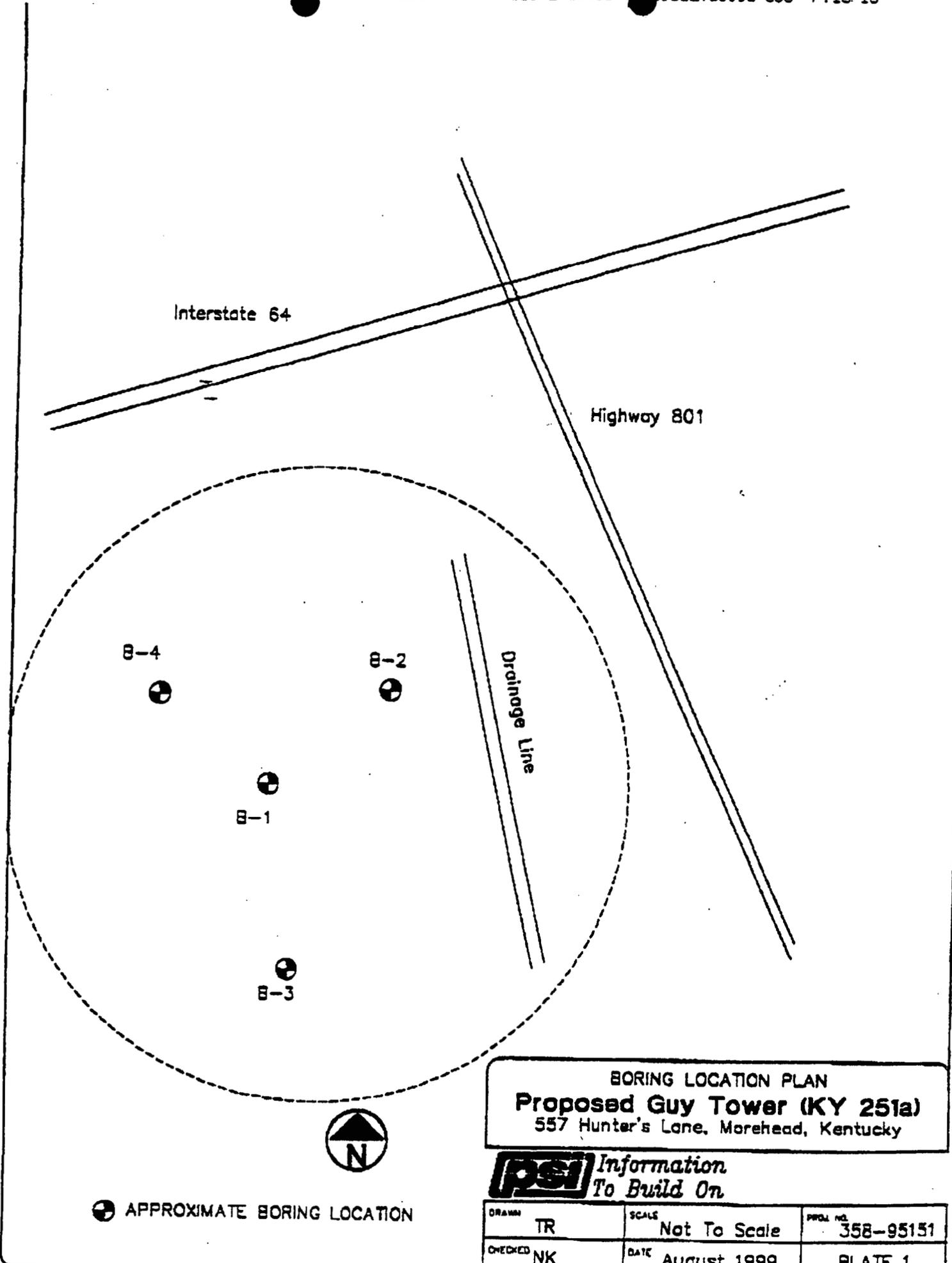
REPORT LIMITATIONS

The recommendations submitted in this report are based on the available subsurface information obtained by PSI and design details furnished by National Assessment Corporation for the proposed project. If there are any revisions to the plans for this project, or if deviations from the subsurface conditions noted in this report are encountered during construction, PSI should be notified immediately to determine if changes in the recommendations are required. If PSI is not notified of such changes, PSI will not be responsible for the impact of those changes on the project.

The geotechnical engineer warrants that the findings, recommendations, specifications, or professional advice contained herein have been made in accordance with generally accepted professional geotechnical engineering practices in the local area. No other warranties are implied or expressed.

After the plans and specifications are more complete, the geotechnical engineer should be retained and provided the opportunity to review the final design plans and specifications to check that our engineering recommendations have been properly incorporated into the design documents. At this time, it may be necessary to submit supplementary recommendations. This report has been prepared for the exclusive use of National Assessment Corporation for the specific application to the proposed Guy Tower (KY 251a) located at 557 Hunter's Lane, Morehead, Kentucky.

APPENDIX



Interstate 64

Highway 801

Drainage Line

B-4

B-2

B-1

B-3



⊕ APPROXIMATE BORING LOCATION

BORING LOCATION PLAN
Proposed Guy Tower (KY 251a)
 557 Hunter's Lane, Morehead, Kentucky

PSI Information
 To Build On

DRAWN TR	SCALE Not To Scale	PROJ. NO. 358-95151
CHECKED NK	DATE August 1999	PLATE 1

GENERAL NOTES

FINE AND COARSE GRAINED SOIL PROPERTIES

PARTICLE SIZE		COARSE GRAINED SOILS (SANDS & GRAVELS)		FINE GRAINED SOILS (SILTS & CLAYS)		
		N-VALUE	RELATIVE DENSITY	N-VALUE	CONSISTENCY	QU, PSF
BOULDERS:	GREATER THAN 300 mm	0-4	VERY LOOSE	0-2	VERY SOFT	0 - 500
COBBLES:	75 mm to 300 mm	5-10	LOOSE	3-4	SOFT	500 - 1000
GRAVEL:	4.75 mm to 75 mm	11-30	MEDIUM DENSE	5-8	FIRM	1000 - 2000
COARSE SAND:	2 mm to 4.75 mm	31-50	DENSE	9-15	STIFF	2000 - 4000
MEDIUM SAND:	0.425 mm to 2 mm	OVER 50	VERY DENSE	16-30	VERY STIFF	4000 - 8000
FINE SAND:	0.075 mm to 0.425 mm			OVER 31	HARD	8000 +
SILTS & CLAYS:	LESS THAN 0.075 mm					

STANDARD PENETRATION TEST (ASTM D1586)

THE STANDARD PENETRATION TEST AS DEFINED BY ASTM D1586 IS A METHOD TO OBTAIN A DISTURBED SOIL SAMPLE FOR EXAMINATION AND TESTING AND TO OBTAIN RELATIVE DENSITY AND CONSISTENCY INFORMATION. THE 1.4 INCH I.D./2.0 INCH O.D. SAMPLER IS DRIVEN 3-SIX INCH INCREMENTS WITH A 140 LB. HAMMER FALLING 30 INCHES. THE BLOW COUNTS REQUIRED TO DRIVE THE SAMPLER THE FINAL 2 INCREMENTS ARE ADDED TOGETHER AND DESIGNATE THE N-VALUE. AT TIMES, THE SAMPLER CAN NOT BE DRIVEN THE FULL 18 INCHES. THE FOLLOWING PRESENTS OUR INTERPRETATION OF THE STANDARD PENETRATION TEST WITH VARIATIONS.

BLOWS/FOOT (N-VALUE)	DESCRIPTION
25.....	25 BLOWS DROVE SAMPLER 12" AFTER INITIAL 6" SEATING
75/10.....	75 BLOWS DROVE SAMPLER 10" AFTER INITIAL 6" SEATING
50/PR.....	SAMPLER ENCOUNTERED PENETRATION REFUSAL AFTER 50 BLOWS WITH NO PENETRATION
50/2.....	50 BLOWS DROVE SAMPLER 2" AFTER NO INITIAL 6" SEATING

KEY TO MATERIAL CLASSIFICATION

	TOPSOIL		LIMESTONE BEDROCK
	SOIL FILL MATERIAL		CRUSHED LIMESTONE
	CL LEAN CLAY		SANDSTONE
	CH FAT CLAY		SILTSTONE
	ML LOW PLASTIC SILT		SHALE
	MH HIGH PLASTIC SILT		GRAVEL
	SP POORLY GRADED SAND		SHOTROCK FILL
	SC CLAYEY SAND		ASPHALT
	SM SILTY SAND		CONCRETE

SOIL PROPERTY SYMBOLS

- N: STANDARD PENETRATION, BPF
- M: MOISTURE CONTENT, %
- LL: LIQUID LIMIT, %
- PI: PLASTICITY INDEX, %
- Qs: POCKET PENETROMETER VALUE, TSP
- Qu: UNCONFINED COMPRESSIVE STRENGTH, TSP
- QUW: DRY UNIT WEIGHT, PCF

SAMPLING SYMBOLS

- UNDISTURBED SAMPLE
- SPLIT SPOON SAMPLE
- ROCK CORE SAMPLE
- AUGER OR BAG SAMPLE
- WATER LEVEL AFTER DRILLING
- WATER LEVEL AFTER 24 HRS

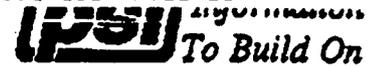
ROCK PROPERTIES

ROCK QUALITY DESIGNATION (RQD)

PERCENT RQD	QUALITY
90 to 100	EXCELLENT
75 to 90	GOOD
50 to 75	FAIR
25 to 50	POOR
0 to 25	VERY POOR

ROCK HARDNESS

- VERY SOFT:** ROCK DISINTEGRATES OR EASILY COMPRESSES TO TOUCH; CAN BE HARD TO VERY HARD SOIL.
- SOFT:** ROCK IS COHERANT BUT BREAKS EASILY TO THUMB PRESSURE AT SHARP EDGES AND CRUMBLES WITH FIRM HAND PRESSURE.
- MODERATELY HARD:** SMALL PIECES CAN BE BROKEN OFF ALONG SHARP EDGES BY CONSIDERABLE HARD THUMB PRESSURE; CAN BE BROKEN BY LIGHT HAMMER BLOWS.
- HARD:** ROCK CANNOT BE BROKEN BY THUMB PRESSURE, BUT CAN BE BROKEN BY MODERATE HAMMER BLOWS.
- VERY HARD:** ROCK CAN BE BROKEN BY HEAVY HAMMER BLOWS.



Project: **Proposed Guy Tower (KY 251a)** PSI No.: **358-95151** Date: **7/29/99**
 Location: **557 Hunter's Lane, Morehead, KY**

Boring No.: **B-2** Total Depth: **4.0'** Elev: Water at Completion of Soil Drilling: **DRY**

Boring Method: **Hand Auger** Drill Type: **CME-75** Driller: **LS**

Elevation (MSL)	Depth (feet)	Sample	DESCRIPTION OF MATERIALS	N	N VALUE (bpf) ▲										% M	LL	PI	Qp	Qu	UDW		
					10	20	30	40	50	60	70	80	90									
	2.0	8	Brown Clay SILT with shale pieces, slightly moist. (ML)														7			3.5		
	4.0	8	Brown Lean CLAY mixed with topsoil and trace shale pieces, slightly moist. (CL)														12			4.5+		
			Hand Auger Refusal at 4.0 Feet																			

KV 95151 01/03/99

Project: **Proposed Guy Tower (KY 251a)**

PSI No.: **358-95151**

Date: **7/29/99**

Boring No.: **B-3**

Total Depth **3.0'**

Elev:

Water at Completion of Soil Drilling: **DRY**

Boring Method: **Hand Auger**

Drill Type: **CME-75**

Driller: **LS**

Elevation (MSL)	Depth (feet)	Sample	DESCRIPTION OF MATERIALS	N	N VALUE (bpf) ▲											% M	LL	PI	Op	Qu	UDW				
					10	20	30	40	50	60	70	80	90												
	2.0	10	Brown Lean CLAY mixed with topsoil and shale pieces, slightly moist. (CL)															13			4.5+				
	3.0	9	Brown Lean CLAY with shale pieces, slightly moist. (CL)															10			4.5+				
			Hand Auger Refusal at 3.0 Feet																						

NY 95151 8/6/99

**EXHIBIT I
DIRECTIONS TO WCF SITE**

EXHIBIT J
COPY OF REAL ESTATE AGREEMENT

Site Name: Moores Ferry

Site #: KY 251

LEX-MF

Moores Ferry

OPTION AND LEASE AGREEMENT

This Agreement, made this 18th day of June 1999 between Paul J. Reynolds and Mabel C. Reynolds, hereinafter designated LESSORS and BELLSOUTH MOBILITY INC, hereinafter designated TENANT.

RECITALS:

LESSORS is the owner of certain real property located in Morehead in Rowan County, State of Kentucky, and TENANT desires to obtain an Option to lease a portion of said real property containing approximately 10,000 square feet together with an easement for guy wires and a right of way for access thereto (said leased parcel easement and right of way hereinafter called "Property"). The Property is more specifically described in and substantially shown outlined in red on Exhibit "A" attached hereto and made a part hereof.

NOW THEREFORE, in consideration of a sum of FIVE HUNDRED Dollars (\$500.00), hereinafter referred to as "Option Money," to be paid by TENANT to the LESSOR, which TENANT will provide upon its execution of this Agreement, the LESSORS hereby grants to TENANT the right and Option to lease said real property including a right of way for access thereto for the term and in accordance with the covenants and conditions set forth herein.

The Option may be exercised at any time on or prior to December 18th, 1999.

At TENANT's election, and upon TENANT's prior written notification to LESSORS, the time during which the Option may be exercised may be further extended for one additional period of six (6) months, through and including June 18th, 2000 with an additional payment of FIVE HUNDRED Dollars (\$500.00) by TENANT to LESSORS for the Option Period so extended. The time during which the Option may be exercised may be further extended by mutual agreement in writing. If during said Option Period, or during the term of the lease, the LESSORS decides to subdivide, sell or change the status of the Property or LESSOR's property contiguous thereto, LESSORS shall immediately notify TENANT in writing so that TENANT can take steps necessary to protect TENANT's interest in the Property.

LESSORS covenants that LESSORS is seized of good and sufficient title and interest to the Property and has full authority to enter into and execute this Agreement. LESSORS further covenants that there are no other liens, judgments, or impediments of title on the Property.

This Option may not be sold, assigned, or transferred, at any time except to TENANT's principal, affiliates or subsidiaries of its principal. As to other parties, this Option may not be sold, assigned or transferred without the written consent of the LESSORS, such consent not to be unreasonably withheld.

7/1/99 P.J.R.

Should TENANT fail to exercise this Option or any extension thereof within the time herein limited, all rights and privileges granted hereunder shall be deemed completely surrendered, this Option terminated, and LESSORS shall retain all money paid for the Option, and no additional money shall be payable by either party to the other.

The LESSORS shall permit TENANT during the Option Period, free ingress and egress to the Property to conduct such surveys, structural strength analysis, subsurface boring tests and other activities of similar nature, as TENANT may deem necessary, at the sole cost of TENANT.

Notice of the exercise of the Option shall be given by TENANT to the LESSORS in writing by certified mail, return receipt requested. Notice shall be deemed effective on the date it is posted. On the date of such notice the following Agreement shall take effect:

LEASE AGREEMENT

1. LESSORS hereby leases to TENANT that certain parcel of real Property, containing approximately 10,000 square feet, situated in Rowan County, State of Kentucky, together with and easement for guy wires and the nonexclusive right for ingress and egress, seven (7) days a week, twenty-four (24) hours a day, on foot or motor vehicle, including trucks, and for the installation and maintenance of utility wires, cables, conduits and pipes over, under or along a twenty foot (20') wide right of way extending from the nearest public right of way Hunters Lane, to the leased parcel, said parcel and right of way for access being substantially as described herein Exhibit "A" and as shown enclosed within red lines on Exhibit "A" attached hereto and made a part hereof. Said leased parcel easement and right of way for access shall be hereinafter referred to as "Property." LESSORS shall cooperate with TENANT in TENANT's effort to obtain utility services along said right of way by signing such documents or easements as may be required by said utility companies. In the event any public utility is unable to use the aforementioned right of way, the LESSORS hereby agrees to grant an additional right of way either to the TENANT or to the public utility at no cost to the TENANT.

2. LESSORS also hereby grants to TENANT the right to survey said Property, and the legal description on said survey shall then become Exhibit "B," which shall be attached hereto and made a part hereof, and shall control in the event of discrepancies between it and Exhibit "A." LESSORS grants TENANT the right to take measurements, make calculations, and to note other structures, setbacks, uses, or other information as deemed by TENANT to be relevant and pertinent as such information relates to LESSOR's real property, leased or otherwise abutting or surrounding the Property. Cost for such survey work shall be borne by the TENANT.

3. This Agreement shall be for an initial term of five (5) years beginning on the date the Option is exercised by TENANT at an annual rental payment of EIGHTY FOUR HUNDRED (\$8,400.00) to be paid annually on the anniversary date of lease commencement, in advance, to Paul J. Reynolds and Mabel C. Reynolds or to such other person, firm or place as the LESSORS may, from time to time, designate in writing at least thirty (30) days in advance of any rental payment date.

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4. TENANT shall have the Option to extend this lease for four (4) additional five (5) year terms by giving the LESSORS written notice of its intention to do so at least six (6) months prior to the end of the then current term.

5. The annual rental for the first (1st) five (5) year extension term shall be increased to NINETY TWO HUNDRED Dollars (\$9,200.00); the second (2nd) five (5) year extension term shall be increased to TEN THOUSAND TWO HUNDRED Dollars (\$10,200.00); the third (3rd) five (5) year extension term shall be increased to ELEVEN THOUSAND TWO HUNDRED Dollars (\$11,200.00); and the fourth (4th) five (5) year extension term shall be increased to TWELVE THOUSAND THREE HUNDRED Dollars (\$12,300.00).

6. If at the end of the fourth (4th) five (5) year extension term this Agreement has not been terminated by either party by giving to the other written notice of an intention to terminate it at least six (6) months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of one (1) year, and for the annual terms thereafter until terminated by either party by giving to the other written notice of its intention to so terminate at least six (6) months prior to the end of such term. Monthly rental for this period shall be equal to the rent paid for the last month of the fourth (4th) five-(5) year extension.

7. TENANT shall use the Property for the purpose of constructing, maintaining and operating a Communications Facility and uses incidental thereto, consisting of a building or buildings as necessary now or in the future to shelter telecommunications equipment and related office space, a self supporting tower or a guyed tower of sufficient height now or in the future to meet TENANT's telecommunication needs and all necessary appurtenances, a security fence consisting of a chain-link construction or similar but comparable construction may at the option of TENANT be placed around the perimeter of the property (not including the access and guy wire easements). All improvements shall be at TENANT's expense. LESSOR grants TENANT the right to use adjoining and adjacent land as is reasonably required during construction, installation, maintenance, and operation of the Communications Facility. TENANT will maintain the Property in a reasonable condition. It is understood and agreed that TENANT's ability to use the Property is contingent upon its obtaining, after the execution date of this agreement, all of the certificates, permits and other approvals that may be required by any federal, state or local authorities. LESSORS shall cooperate with TENANT in its effort to obtain such approvals and shall take no action, which would adversely affect the status of the Property with respect to the proposed use thereof by TENANT. LESSORS agrees to sign such papers as required to file applications with the appropriate zoning authority and/or commission for the proper zoning of the property as required for the use intended by the TENANT. TENANT will perform all other acts and bear expenses associated with the rezoning procedure. LESSORS agrees not to register any written or verbal opposition to the rezoning procedures. In the event TENANT is unable to use the leased parcel and/or access easement to the leased parcel due to imposed zoning conditions or requirements, LESSORS hereby grants to TENANT the right to modify Exhibit "A" in order to satisfy any imposed zoning conditions or requirements. In the event that any of such applications should be finally rejected or any certificate, permit, license or approval issued to

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TENANT is canceled, expires, lapses, or is otherwise withdrawn or terminated by governmental authority or soil boring tests or radio frequency propagation tests are found to be unsatisfactory so that TENANT, in its sole discretion, will be unable to use the Property for its intended purposes, TENANT shall have the right to terminate this Agreement. Notice of the TENANT's exercise of its right to terminate shall be given to LESSORS in writing by certified mail, return receipt requested, and shall be effective upon receipt of such notice by the LESSORS as evidenced by the return receipt. All rentals paid to said termination date shall be retained by the LESSORS. Upon such termination, this Agreement shall become null and void and all the parties shall have no further obligations, including the payment of money, to each other.

8. TENANT shall indemnify and hold LESSORS harmless against any claim of liability or loss from personal injury or property damage resulting from or arising out of the use and occupancy of the Property by the TENANT, its servants or agents, excepting, however, such claims or damages as may be due to or caused by the acts of the LESSORS, or its servants or agents.

9. LESSORS agrees that TENANT may self-insure against any loss or damage, which could be covered by a comprehensive general public liability insurance policy.

10. TENANT will be responsible for making any necessary returns for and paying any and all Property taxes separately levied or assessed against its improvements on the Property. TENANT shall reimburse LESSORS as additional rent for any increase in real estate taxes levied against the leased Property which are directly attributable to the improvements constructed by TENANT and are not separately levied or assessed against TENANT's improvements by the taxing authorities.

11. If TENANT's Communications Facility or improvements are damaged or destroyed by fire or other casualty, TENANT shall not be required to repair or replace the Communications Facility or any of TENANT's improvements made by TENANT. TENANT shall not be required to expend for repairs more than twenty-five percent (25%) of the replacement value of the Communications Facility or any improvements. Additionally, if completion of the repairs is not possible within ninety (90) days following the date of the damage or destruction, TENANT may terminate this Agreement by giving written notice to LESSORS. Termination shall be effective immediately after such notice is given. Upon such termination, this Agreement shall become null and void other than the requirement that the LESSORS pay any of the pro-rata share of the unused portion of the rent which was paid to LESSORS back to the TENANT. Upon TENANT's receipt of the rent, LESSORS and TENANT shall have no other further obligations to each other, other than TENANT's obligation to remove its property as hereinafter provided.

12. Notwithstanding any other termination rights available to TENANT under this Lease, TENANT, at its sole and absolute discretion, shall have the right to terminate this Lease with ninety (90) days prior written notice to LESSORS and a lump sum payment to LESSORS in an amount equal to twelve (12) months rent or the total of the remaining months of the term, whichever is less. The rental rate shall be computed at the rate which is in effect at the time of termination. Upon termination TENANT shall execute upon the request of the

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LESSORS a written cancellation of the lease upon the TENANT vacating the Property or upon termination of the lease, in recordable form and TENANT shall have no other further obligations, other than TENANT's obligation to remove its property as hereinafter provided.

13. TENANT upon termination of this Agreement, shall, within a reasonable period, remove its real and personal property and fixtures and restore the property to its original above grade condition, reasonable wear and tear excepted. At LESSOR's option, when this Agreement is terminated and upon LESSOR's advance written notice to TENANT, TENANT will leave the foundation and security fence to become the property of the LESSORS. If such time for removal causes TENANT to remain on the Property after the termination of this Agreement, TENANT shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until such time as the removal of personal property and fixtures are completed.

14. Should the LESSORS, at any time during the term of this Agreement, decide to sell all or any part of his real property which includes the parcel of property leased by TENANT herein and/or the right of way thereto to a purchaser other than TENANT, such sale shall be under and subject to this Lease Agreement and TENANT's right hereunder. LESSORS agrees not to sell, lease or use any other areas of the larger parcel upon which Property is situated for the placement of other communications facilities if, in TENANT's sole judgment, such installation would interfere with the facilities in use by TENANT.

15. LESSOR's covenants that TENANT, on paying the rent and performing the covenants shall peaceably and quietly have, hold and enjoy the Property.

16. LESSORS covenants that LESSORS is seized of good and sufficient title and interest to the Property and has full authority to enter into and execute this Agreement. LESSOR further covenants that there are no other liens, judgments or impediments of title on the Property.

17. It is agreed and understood that this Agreement contains all agreements, promises and understandings between the LESSORS and TENANT and that no verbal or oral agreement, promises or understandings shall be binding upon either the LESSORS or TENANT in any dispute, controversy or proceeding at law, and any addition, variation or modification to this Agreement shall be void and ineffective unless made in writing and signed by the parties.

18. This Lease Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the laws of the State of Kentucky.

19. This lease may not be sold, assigned, or transferred at any time except to TENANT's principal affiliates or subsidiaries of its principal or to any company upon which TENANT is merged or consolidated. As to other parties, this Lease may not be sold, assigned or transferred without the written consent of the LESSORS, such consent not to be unreasonably withheld. TENANT may sublease this Lease upon notice to LESSORS.

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20. All notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested, addressed as follows (or any other address that the party to be notified may have designated to the sender by like notice):

TENANT: BellSouth Mobility Inc
1650 Lyndon Farms Court
Louisville, KY 40223
Attn: Real Estate Manager

LESSORS: Paul J. Reynolds & Mabel C. Reynolds
557 Hunters Lane
Morehead, KY 40351

21. This Agreement shall extend to and bind the heirs, personal representatives, successors and assigns of the parties hereto.

22. At LESSOR's option, this Agreement shall be subordinate to any mortgage by LESSORS which from time to time may encumber all or part of the Property or right of way; provided, however, every such mortgage shall recognize the validity of this Agreement in the event of a foreclosure of LESSOR's interest and also TENANT's right to remain in occupancy of and have access to the Building as long as TENANT is not in default of this Agreement. TENANT shall execute in a timely manner whatever instruments as may reasonably be required to evidence this subordination clause. In the event the leased Property is encumbered by a mortgage, the LESSORS, no later than ten (10) days after this lease is exercised, shall have obtained and furnished to TENANT a non-disturbance instrument in recordable form for each such mortgage.

23. If the whole of the leased premises or such portion thereof as will make the premises unusable for the purposes herein leased, are condemned by any legally constituted authority for any public use or purpose, then in either of said events the term hereby granted shall cease from the time when possession thereof is taken by public authorities, and rental shall be accounted for as between LESSORS and TENANT as of that date. TENANT shall remove all of its equipment within 60 days from the receipt of notification of condemnation from the condemning authority. Any lesser condemnation shall in no way affect the respective rights and obligations of LESSORS and TENANT hereunder. Nothing in this provision shall be construed to limit or affect TENANT's right to an award of compensation of any eminent domain proceeding for the taking of TENANT's leasehold interest hereunder.

24. TENANT, at TENANT's option may erect either a self-supporting tower or a guyed tower suitable for his proposed use. Should TENANT choose to erect a guyed tower, Lessor grants TENANT easements for the purpose of anchoring and mounting guy wires extending from TENANT's tower. Said easement shall extend 320 feet in all directions from the leased parcel.

PJR

25. LESSORS grants that TENANT has the following rights:

A. Twenty-four hour, seven day a week right of ingress and egress to said guy anchors for purposes of maintenance, inspection, and installation to insure the proper installation and operation of TENANT's facility. Such inspection, maintenance and installation shall be TENANT's sole responsibility and all such costs shall be borne by the TENANT.

B. The right to clear all trees, undergrowth, or other obstructions and to trim and cut and keep trimmed and cut all dead, weak, leaning or dangerous trees or limbs which may interfere with or fall upon TENANT's tower or tower's guy wires.

26. TENANT, at TENANT's option, may obtain title insurance on the space leased herein. LESSORS, at LESSOR's expense, shall cooperate with TENANT's efforts to obtain such title insurance policy by executing documents or obtaining requested documentation as required by the title insurance company. At TENANT's option, should the LESSORS fail to provide requested documentation within thirty (30) days of TENANT's request, or fail to provide the Non-Disturbance instrument(s) as noted in Paragraph 22 of this Agreement, TENANT may withhold and accrue the monthly rental until such time as the requested document(s) is (are) received.

27. LESSORS shall hold TENANT harmless from and indemnify TENANT against and from any damage, loss, expenses or liability resulting from the discovery by any person of hazardous substances generated, stored, disposed of, or transported to or over Property, as long as such substance was not stored, disposed of, or transported to or over the Property by TENANT, its agents, contractors, employees, or invitees. TENANT will be responsible for any and all damages, losses, and expenses and will indemnify LESSORS against and from any discovery by any persons of hazardous wastes generated, stored, or disposed of as a result of TENANT's equipment and uses of the aforementioned Property.

28. TENANT, shall provide underground utilities, which will include electric and telephone services. TENANT will be responsible for cleanup and removal of trees and other debris during construction phase. TENANT shall install an access gate to be set back at least 20 feet from access road. TENANT will be responsible for any and all damage to Hunters Lane (black top road) caused by construction equipment during the construction of the communication facility.

PJR

(Remainder of Page Intentionally Left Blank)



IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals the day and year first above written.

Signed, sealed and delivered in the presence of:

LESSORS:

Paul J. Reynolds (Seal)
Paul J. Reynolds

SS#/Tax I.D. #: 406-18-5334

Mabel C. Reynolds (Seal)
Mabel C. Reynolds

SS#/Tax I.D. #: 402-58-8721

Scott A. Law
WITNESS

Gregory J. Martin
WITNESS

Tara L. Botti
NOTARY PUBLIC

Tara L. Botti, Notary Public
State at Large, Kentucky
My Commission Expires 3/9/2002

Signed, sealed and delivered in the presence of:

TENANT:

BELLSOUTH MOBILITY INC

Michael A. [Signature]

BY: Regional Vice Pres. &
TITLE: Gen. Mngr. - KY

(CORPORATE SEAL)

Beverly Platt
WITNESS

Marchetta D. [Signature]
WITNESS

Becky M. Robinson
NOTARY PUBLIC

Becky M. Robinson, Notary Public
State at Large
Kentucky
My Commission Expires Mar. 14, 2003

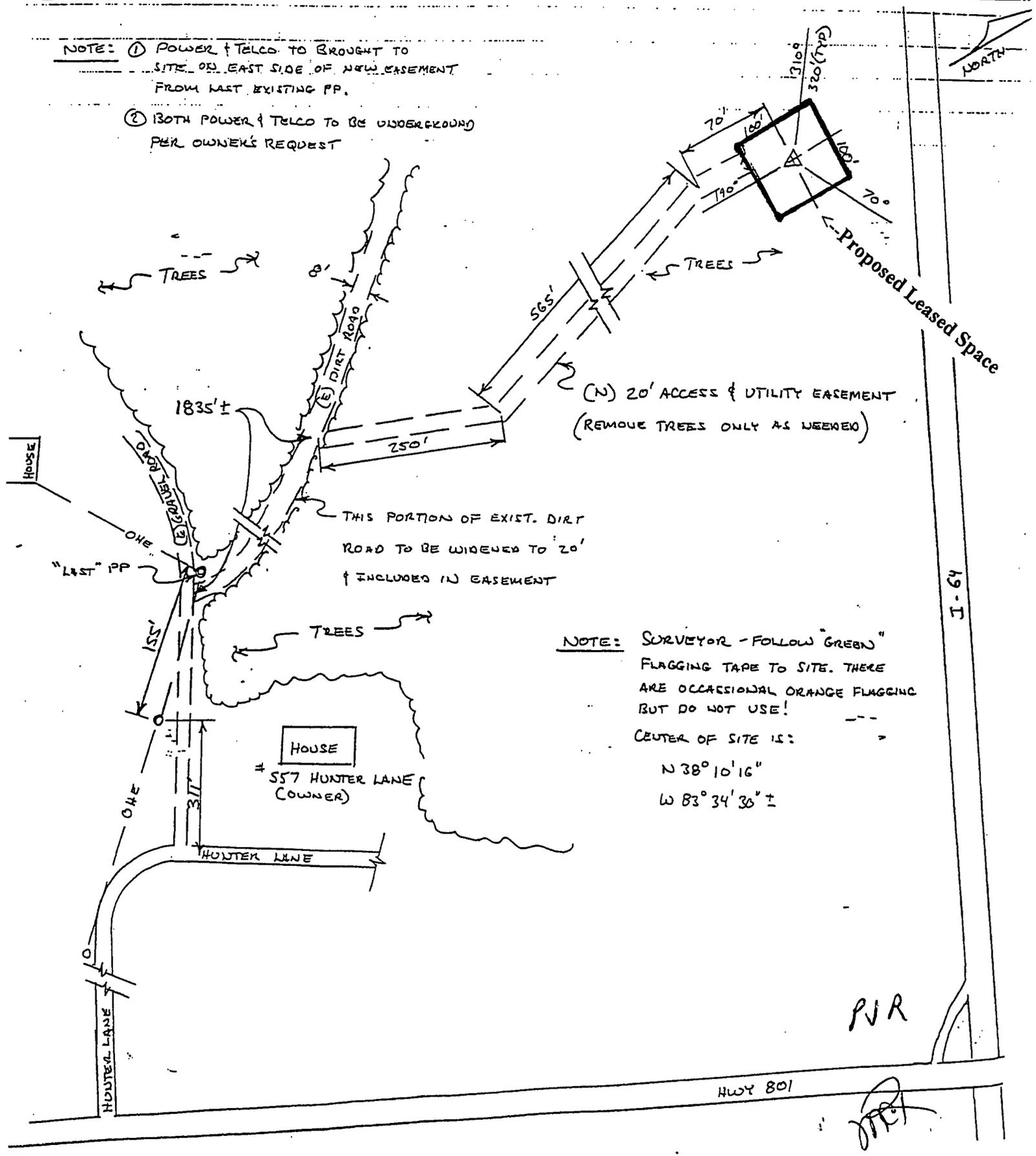
PJR

[Handwritten initials]

Exhibit "A"

NOTE: ① POWER & TELCO TO BE BROUGHT TO SITE ON EAST SIDE OF NEW EASEMENT FROM LAST EXISTING PP.

② BOTH POWER & TELCO TO BE UNDERGROUND PER OWNER'S REQUEST



(N) 20' ACCESS & UTILITY EASEMENT
(REMOVE TREES ONLY AS NEEDED)

THIS PORTION OF EXIST. DIRT ROAD TO BE WIDENED TO 20'
↑ INCLUDED IN EASEMENT

NOTE: SURVEYOR - FOLLOW "GREEN" FLAGGING TAPE TO SITE. THERE ARE OCCASIONAL ORANGE FLAGGING BUT DO NOT USE!

CENTER OF SITE IS:
N 38° 10' 16"
W 83° 34' 36" ±

PJR

HWY 801

[Handwritten signature]

I-64

NORTH

**EXHIBIT K
NOTIFICATION LISTING**

CERTIFICATION OF NOTIFICATION LIST - EXHIBIT K

PSC CASE NO: 99-383

CROWN REFERENCE: KY 251 MOORES FERRY

1)

Paul J. and Mabel Reynolds
557 Hunter's Lane
Moorehead, KY 40351

2)

Clyde A. Thomas
Rowan County Judge/Executive
Rowan County Court House
627 East Main Street
Moorehead, KY 40351-1390

EXHIBIT L
COPY OF PROPERTY OWNER NOTIFICATION

September 28, 1999

Honorable Clyde A. Thomas
Rowan County Judge/ Executive
Rowan County Court House
627 East Main Street
Moorehead, KY 40351-1390

RE: Public Notice – Public Service Commission of Kentucky
Case No.: 99-383
Our Site No.: KY251 Called Moores Ferry

Honorable Judge:

Crown Communication Inc. and KENTUCKY CGSA, INC., d/b/a BellSouth Mobility Inc. have applied to the Public Service Commission of Kentucky ("Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless telecommunication services. The facility will include a 400-foot tower with appurtenances attached to a maximum height of 425 feet, and a ground level equipment shelter to be located at 557 Hunter's Lane, Moorehead, KY 40351. A temporary tower of shorter stature might be erected at said location while awaiting final PSC approval and the approved tower is operational. A map showing the location of the proposed new facility is enclosed. This notice is being sent to you because you are the Judge Executive of Rowan County.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, Post Office Box 615, Frankfort, Kentucky 40602. Please refer to Case No.: 99-383 in your correspondence.

Feel free contact me at (502) 240-0044 ext. 52, if you have any questions.

Sincerely,
CROWN COMMUNICATION INC.

Lloyd McCarthy
For Crown Communication Inc.

DIRECTIONS TO SITE

From The County Seat in Morehead, KY. The County Seat is located at 627 E. Main St and the phone number is 606.784.5212. Take E. Main St. to US 60 West and proceed on US 60 West for approximately 12 to 15 miles and turn right onto Hwy 801 north. Proceed on Hwy 801 for approximately 2 miles and turn left onto Hunters Lane. Mr. Paul Reynolds home is located at 557 Hunters Lane. The access road to the site is located just behind his house. Go approximately 1/2 mile down the access road and the proposed site is located off to the right into the wood about another 1/2 mile and look for the survey stakes. A new access road will have to be built from existing access road. Directions provided by Scott A. Farr 502.240.0044 ext. 39 or 404.376.6909.

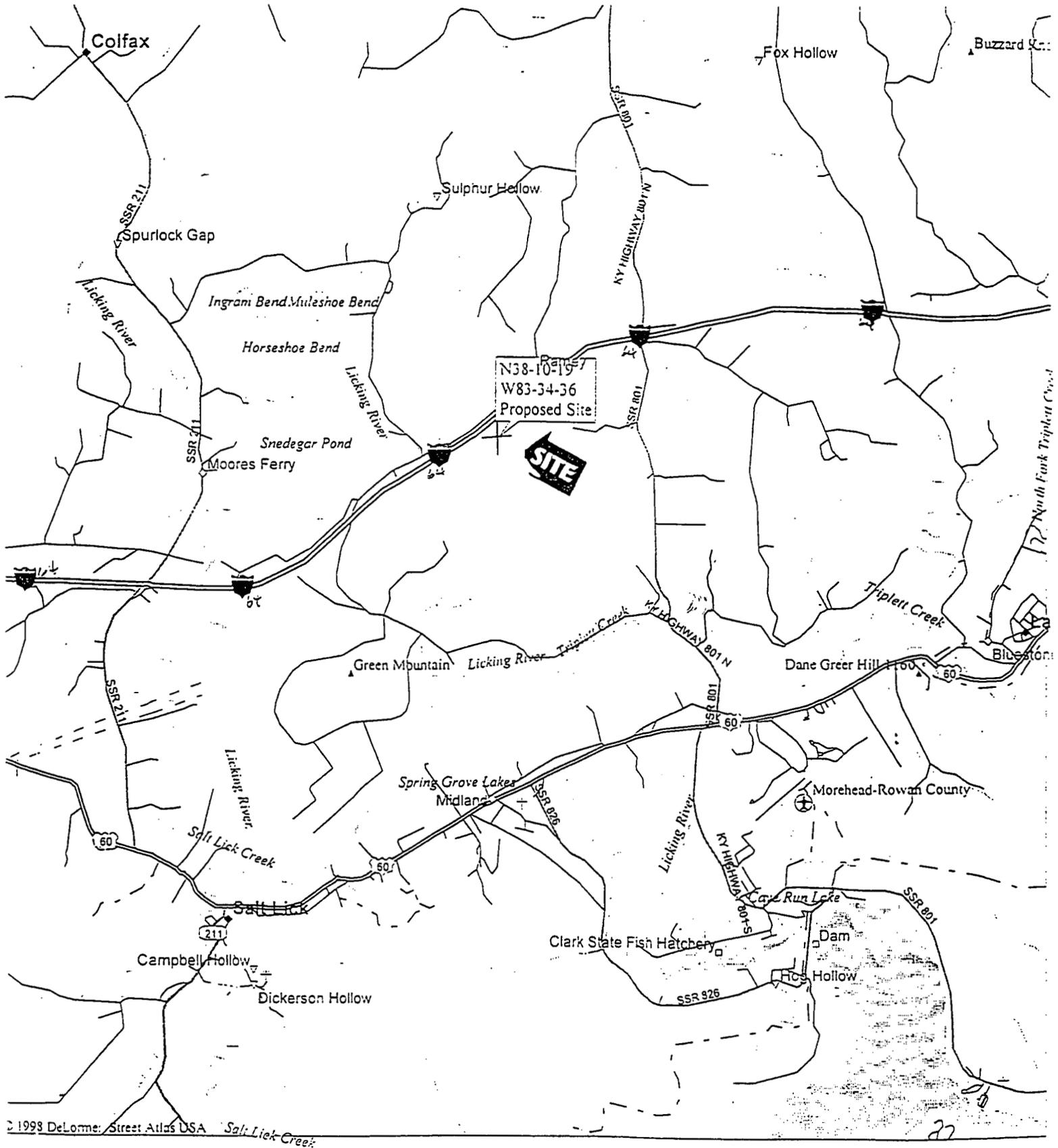


EXHIBIT M
COPY OF JUDGE EXECUTIVE NOTICE

September 28, 1999

Paul J. and Mabel Reynolds
557 Hunter's Lane
Moorehead, KY 40351

RE: Public Notice – Public Service Commission of Kentucky
Case No.: 99-383
Our Site No.: KY251 Called Moores Ferry

Dear Paul and Mabel:

Crown Communication Inc. and KENTUCKY CGSA, INC., d/b/a BellSouth Mobility Inc. have applied to the Public Service Commission of Kentucky ("Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless telecommunication services. The facility will include a 400-foot tower with appurtenances attached to a maximum height of 425 feet, and a ground level equipment shelter to be located at 557 Hunter's Lane, Moorehead, KY 40351. A temporary tower of shorter stature might be erected at said location while awaiting final PSC approval and the approved tower is operational. A map showing the location of the proposed new facility is enclosed. This notice is being sent to you because you own property within a 500' radius of the proposed tower.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, Post Office Box 615, Frankfort, Kentucky 40602. Please refer to Case No.: 99-383 in your correspondence.

Feel free contact me at (502) 240-0044 ext. 52, if you have any questions.

Sincerely,
CROWN COMMUNICATION INC.

Lloyd McCarthy
For Crown Communication Inc.

DIRECTIONS TO SITE

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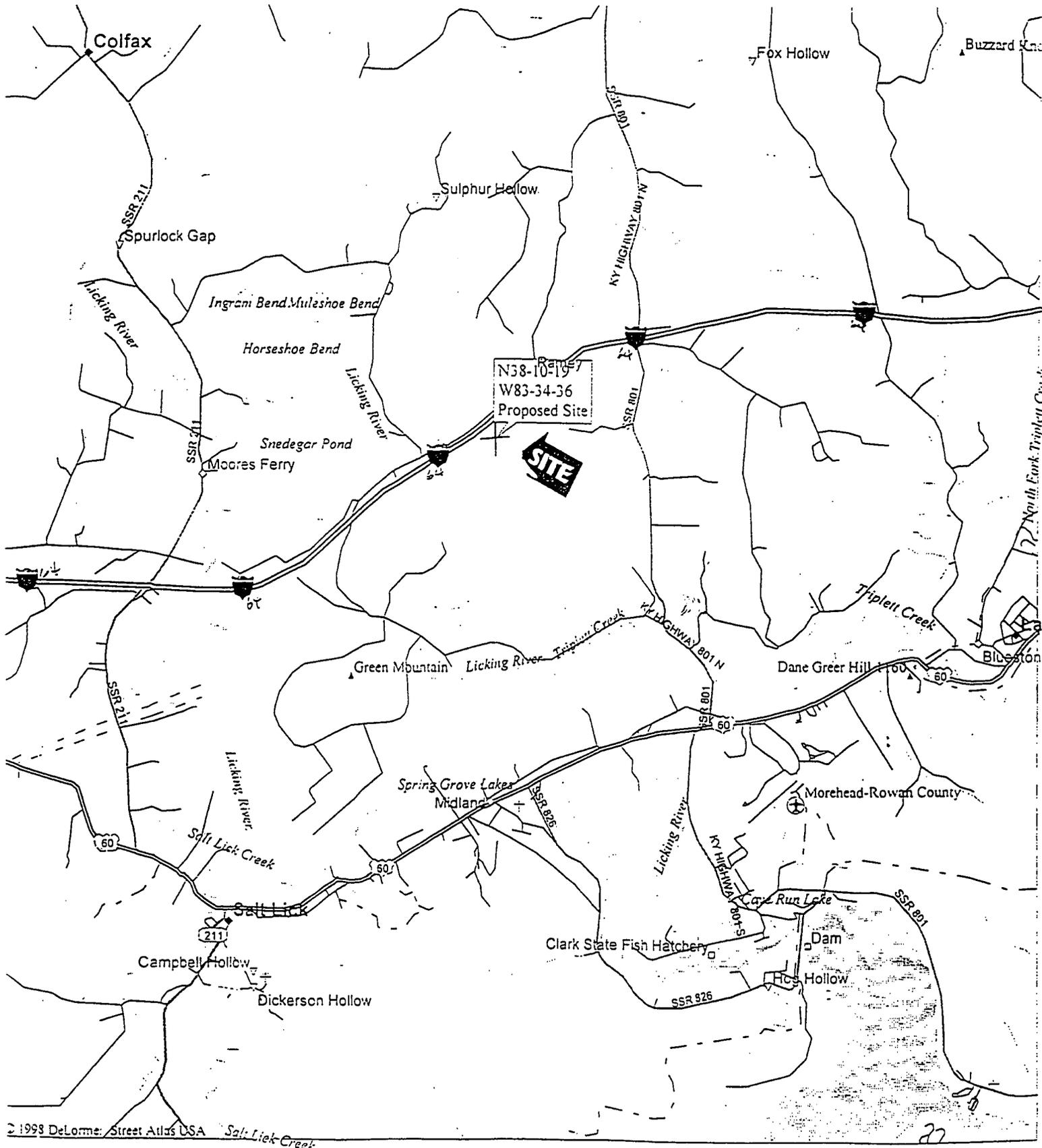


EXHIBIT N
COPY OF POSTING NOTICES

Copies of Posting Notices

Crown Communication, Inc proposes to construct a

TELECOMMUNICATIONS TOWER

on this site. If you have questions, please contact the General Manager, Crown Communication, Inc., 11001 Bluegrass Parkway, Suite 330, Louisville, KY 40299, (502) 240-0044 or the Executive Director, Public Service Commission, 730

Schenkel Lane, P.O. Box 615, Frankfort, KY 40602.

Please refer to Case # 99-383 in your correspondence.

Crown Communication, Inc., proposes to construct a

TELECOMMUNICATIONS TOWER

near this site. If you have questions, please contact the General Manager, Crown Communication, Inc., 11001 Bluegrass Parkway, Suite 330, Louisville, KY 40299, (502) 240-0044 or the Executive Director, Public Service Commission, 730

Schenkel Lane, P.O. Box 615, Frankfort, KY 40602.

Please refer to Case # 99-383 in your correspondence.

EXHIBIT O
COPY OF RADIO FREQUENCY DESIGN SEARCH AREA



Lick

Three

Muleshoe Bend
Horseshoe Bend

gram and

Snedegar Pond

RIVER

Bluebank

Ramey

Bluebank
Ridge

BLUEBANK

RAMEY RIDGE
RAMEY SCHOOL

JONES

RD

BM 710

PIPELINE

ROAD

Green Mountain

SLATEY POINT

Slatey Ch

ROWAN CO
BATH CO

Bayou

RIVER

Spring Grove

PEAKE

BM 676

Gag Sta

EXHIBIT P
TOWER MAP FOR SUBJECT COUNTY

